

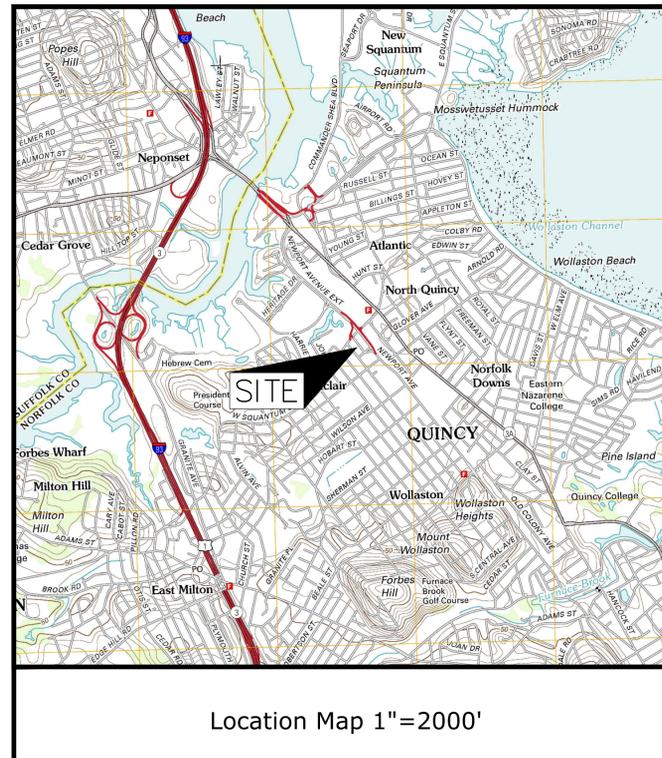
PROPOSED HOTEL DEVELOPMENT

1-15 ARLINGTON STREET AND 22-30 FAYETTE STREET

NORTH QUINCY, MASSACHUSETTS

FEBRUARY 24, 2016

SHEET	TITLE	LAST REVISED
	COVER SHEET	2/24/2016
1 of 1	EXISTING CONDITIONS PLAN	12/16/2015
C-1	DEMOLITION PLAN	2/24/2016
C-2	SITE PLAN	2/24/2016
C-3	GRADING, DRAINAGE AND EROSION CONTROL PLAN	2/24/2016
C-4	UTILITIES PLAN	2/24/2016
C-5	EROSION CONTROL NOTES AND DETAILS	2/24/2016
C-6	DETAILS SHEET	2/24/2016
C-7	DETAILS SHEET	2/24/2016
C-8	DETAILS SHEET	2/24/2016
C-9	PHOTOMETRIC PLAN	2/24/2016
L1.01	LAYOUT AND MATERIALS	2/24/2016
L3.01	PLANTING	2/24/2016
L4.01	PLANTING DETAILS	2/24/2016
A0.00	RENDERING	2/24/2016
A0.01	RENDERING	2/24/2016
A1.00	FIRST FLOOR PLAN	2/24/2016
A1.01	SECOND FLOOR PLAN	2/24/2016
A1.02	THIRD FLOOR PLAN	2/24/2016
A1.03	FOURTH FLOOR PLAN	2/24/2016
A1.04	FIFTH FLOOR PLAN	2/24/2016
A1.05	SIXTH FLOOR PLAN	2/24/2016
A2.00	BUILDING ELEVATIONS	2/24/2016
A2.01	BUILDING ELEVATIONS	2/24/2016
A2.02	BUILDING ELEVATIONS	2/24/2016
A2.03	BUILDING ELEVATIONS	2/24/2016
1 OF 1	EXTERIOR COLOR BOARD	2/24/2016



Applicant: CPI Management, LLC
c/o Cathartes Private Investments
11 Beacon Street, Suite 1120
Boston, Massachusetts 02108

Civil Engineer: Tighe & Bond
177 Corporate Drive
Portsmouth, New Hampshire 03801

Architect: JAL Hospitality Design, LLC
285 Commandments Way,
Chelsea, Massachusetts 02150

Landscape Architect: Terraink
7 Central Street
Arlington, Massachusetts 02476

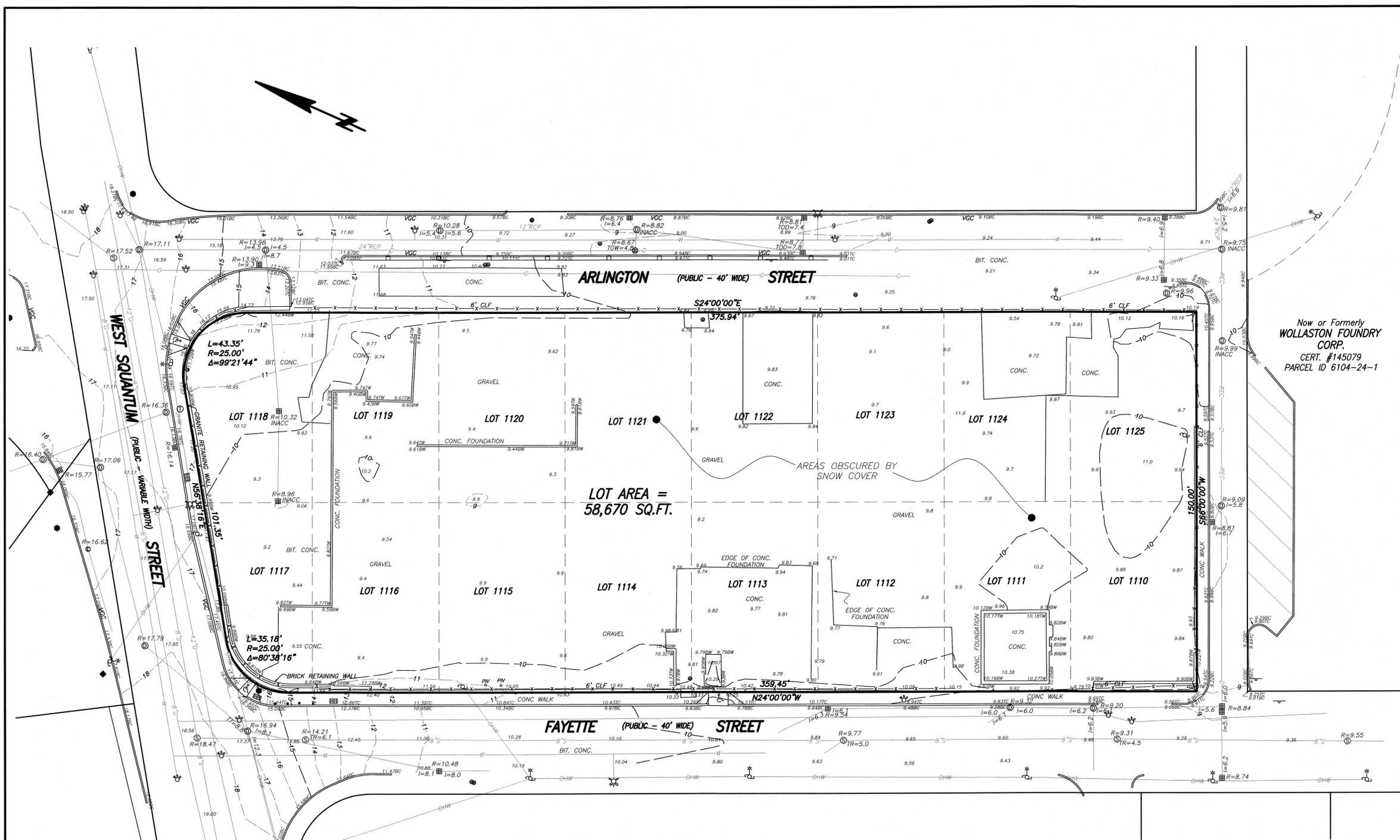
Survey Consultant: Feldman Land Surveyors
112 Shawmut Avenue
Boston, Massachusetts 02118



PERMITTING AUTHORITY	PERMIT REQUIRED	SIGNATURE
Planning Board	Site Plan Review	
Planning Board	Special Permit For Loading	
Zoning Board of Appeals	Special Permit For Flood Plain District	
Zoning Board of Appeals	Variance For Front Building Setback	
Zoning Board of Appeals	Variance For Fence Height	

Tighe & Bond
Consulting Engineers
177 Corporate Drive
Portsmouth, NH 03801

COMPLETE SET 27 SHEETS



REFERENCES

COUNTY REGISTRY OF DEEDS
 BOOK 5243, PAGE 737
 BOOK 5558, PAGE 116
 BOOK 5860, PAGE 234

PLAN BOOK 14, PLAN 640
 PLAN BOOK D1682, PLAN 401
 PLAN BOOK D1796, PLAN 384
 PLAN BOOK 375, PLAN 1353

MASSACHUSETTS LAND COURT
 LCC 37982-B
 CERTIFICATE OF TITLE 145079

Now or Formerly
WOLLASTON FOUNDRY CORP.
 CERT. #145079
 PARCEL ID 6104-24-1

LOT AREA =
58,670 SQ.FT.

- NOTES:**
- 1) BENCH MARK INFORMATION:
 TEMPORARY BENCH MARKS SET:
 CHISELED SQUARE ON NEWPORT AVENUE EXTENSION CULVERT
 HEADWALL ELEVATION = 11.92
 BENCH MARK USED:
 TBM#1 X-MARK ON HYDRANT ON THE BONNET BOLT AFTER WORD
 MUELLER ACROSS FROM THE ENTRANCE TO #95 WEST SQUANTUM
 STREET. ELEVATION = 17.60
 - 2) ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988
 (N.A.V.D. 88)
 - 3) CONTOUR INTERVAL EQUALS ONE (1) FOOT.
 - 4) BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A
 ZONE "AE" (SHADED), A SPECIAL FLOOD HAZARD AREA SUBJECT TO
 INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE ELEVATION
 DETERMINED (EL. 11), AS SHOWN ON THE FEDERAL EMERGENCY
 MANAGEMENT AGENCY (F.E.M.A) FLOOD INSURANCE RATE MAP (F.I.R.M.)
 FOR NORFOLK COUNTY, MASSACHUSETTS, MAP NUMBER 25021C0069F,
 CITY OF QUINCY COMMUNITY NUMBER 255219, PANEL NUMBER 0069F,
 HAVING AN EFFECTIVE DATE OF JUNE 9, 2014.
 - 5) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND
 PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND
 CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD
 PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY
 FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED
 OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUB-SURFACE
 UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE
 CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD
 BE CONSULTED AND THE ACTUAL LOCATION OF SUB-SURFACE
 STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE,
 THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS
 PRIOR TO EXCAVATION.
 - 6) THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND
 SURVEYORS ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY
 AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER
 CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF
 THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES
 UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE
 USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY
 FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS
 PROVIDED BY FELDMAN LAND SURVEYORS.

- LEGEND**
- BIT BITUMINOUS
 - CONC CONCRETE
 - TC TOP OF CURB
 - BC BOTTOM OF CURB
 - I= INVERT ELEVATION
 - TT= TOP OF TROUGH
 - TR= CENTERLINE OF TROUGH
 - INACC. INACCESSIBLE
 - SQ. FT. SQUARE FEET
 - R= RADIUS OR RIM ELEVATION
 - L= LENGTH
 - TOW TOP OF WATER
 - TR= CENTERLINE OF TROUGH
 - TT= TOP OF TROUGH
 - GUARD RAIL
 - X- METAL FENCE
 - S SEWER
 - D DRAIN
 - W WATER
 - G GAS
 - E ELECTRIC
 - T TELEPHONE
 - C CABLE TELEVISION
 - OHW OVERHEAD WIRES

- ⊙ SEWER MANHOLE
- ⊕ DRAIN MANHOLE
- ⊗ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ CABLE TV MANHOLE
- ⊙ MANHOLE
- ⊙ HYDRANT
- ⊙ WATER SHUT OFF
- ⊙ GAS SHUT OFF
- ⊙ CATCH BASIN
- ⊙ TRAFFIC CONTROL BOX
- ⊙ TRAFFIC SIGNAL
- ⊙ LIGHT POLE
- ⊙ ELECTRIC HANDHOLE
- ⊙ BOLLARD
- TBM TEMPORARY BENCH MARK
- REC RECORD
- CALC CALCULATED
- VGC VERTICAL GRANITE CURB
- I= INVERT ELEVATION
- INACC. INACCESSIBLE
- TOD TOP OF DEBRIS

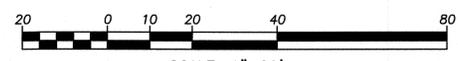
I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND
 THE LATEST PLANS AND DEEDS OF RECORD.

KARL A. MCCARTHY, PLS (MA# 38714)
 kam@feldmansurveyors.com

12-16-2015
 DATE

EXISTING CONDITIONS PLAN
1 ARLINGTON STREET
QUINCY, MASS.

FELDMAN LAND SURVEYORS MARCH 18, 2015
 112 SHAWMUT AVENUE PHONE: (617)357-9740
 BOSTON, MASS. 02118 www.feldmansurveyors.com



SCALE: 1"=20'

RESEARCH	FIELD CHIEF	PROJ MGR KAM	APPROVED	SHEET NO. 1 OF 1
CADD MDS	CADD MDS	FIELD CHECKED	CRD FILE	JOB NO. 14596
FILENAME: S:\PROJECTS\145008\14596\DWG\14596-EC.dwg				

PERMIT SET
NOT FOR CONSTRUCTION



Proposed Hotel Development

Cathartes

Quincy,
Massachusetts

VERIFY SCALE
BAR IS 1 INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

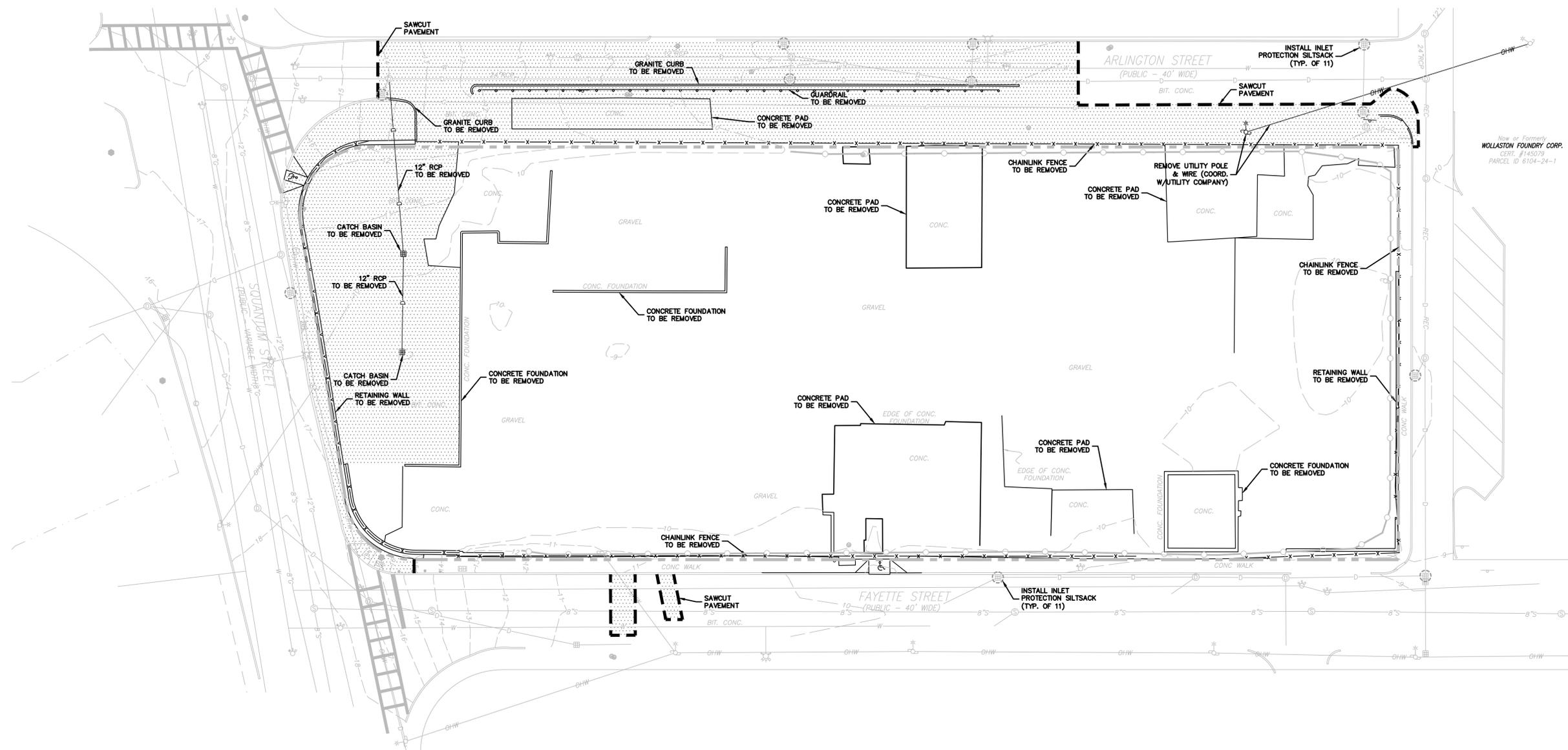
MARK	DATE	DESCRIPTION
B	02/24/2016	Review Comment Revisions
A	01/07/2016	P.B. Submission

PROJECT NO: C-0872-2
DATE: 2016/01/07
FILE: C-0872-2-SITE.dwg
DRAWN BY: NAH
CHECKED BY: PMC
APPROVED BY: GMM

DEMOLITION PLAN

SCALE: AS SHOWN

C-1

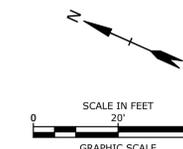


DEMOLITION NOTES:

- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
- COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
- UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER DPW AND UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
- PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING.
- COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAYS WITH THE CITY OF QUINCY.
- CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, HE SHALL EMPLOY A LICENSED SURVEYOR TO REPLACE IT.

- PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.50 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.
- THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.

- PROPERTY LINE
- x-x- EXISTING FENCE
- o-o- EXISTING DRAINAGE
- e-e- EXISTING ELECTRIC/TELEPHONE/CABLE
- ohw- EXISTING OVERHEAD WIRE
- s-s- SILT FENCE
- saw- SAWCUT LIMIT
- x-x- EXISTING SIGN
- t- EXISTING TREE
- b- EXISTING BOULDER
- l- EXISTING LIGHT
- u- UTILITY POLE & GUY WIRE
- t- TYPICAL
- tbr- TO BE REMOVED
- trm- TO REMAIN
- p- PAVEMENT TO BE REMOVED
- s- PROPOSED SILTSACK



PERMIT SET
NOT FOR CONSTRUCTION



Proposed Hotel Development

Cathartes

Quincy, Massachusetts

VERIFY SCALE
BAR IS 1 INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

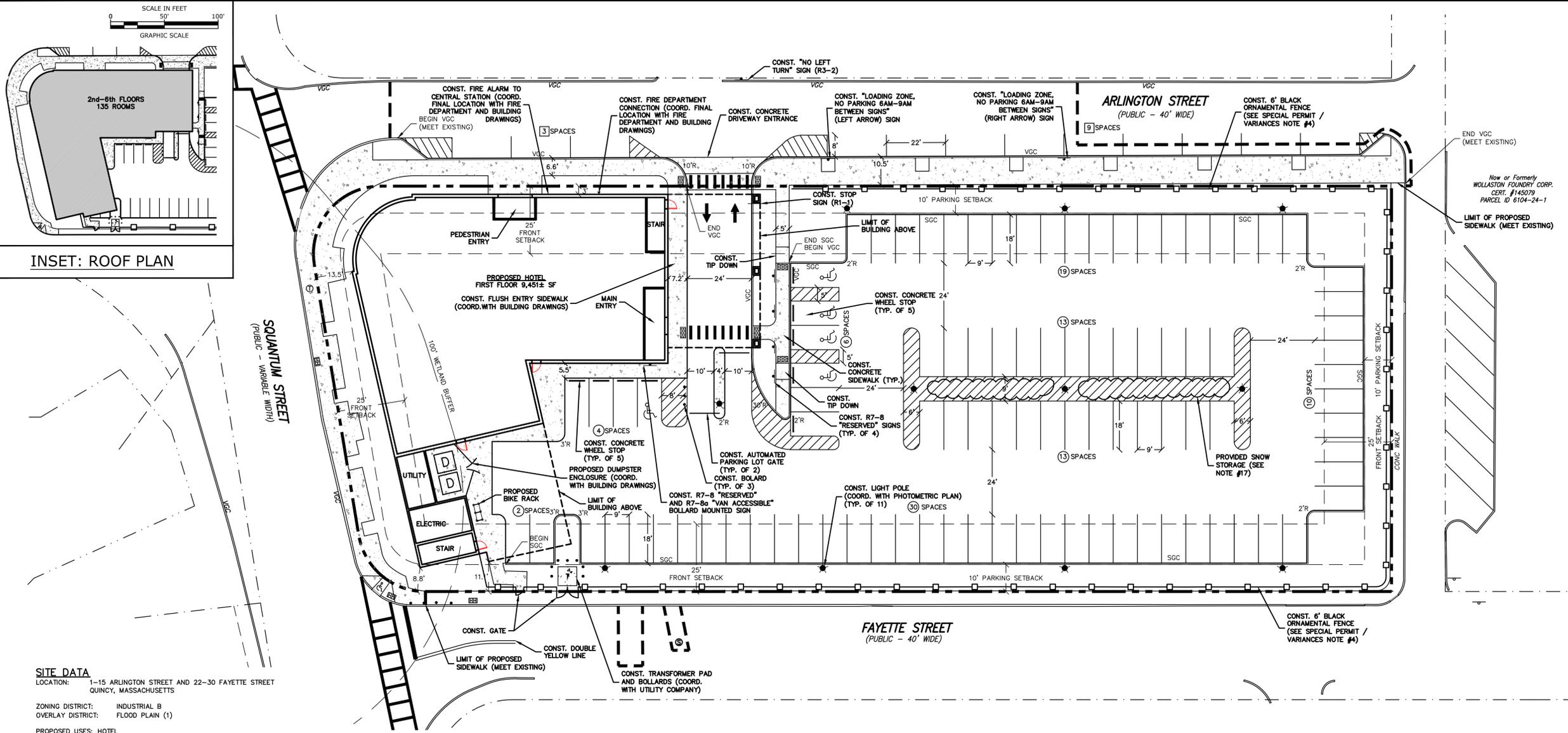
MARK	DATE	DESCRIPTION
B	02/24/2016	Review Comment Revisions
A	01/07/2016	P.B. Submission

PROJECT NO:	C-0872-2
DATE:	2016/01/07
FILE:	C-0872-2-SITE.dwg
DRAWN BY:	NAH
CHECKED BY:	PMC
APPROVED BY:	GMM

SITE PLAN

SCALE: AS SHOWN

C-2



SITE DATA
LOCATION: 1-15 ARLINGTON STREET AND 22-30 FAYETTE STREET
QUINCY, MASSACHUSETTS
ZONING DISTRICT: INDUSTRIAL B
OVERLAY DISTRICT: FLOOD PLAIN (1)
PROPOSED USES: HOTEL

DIMENSIONAL REQUIREMENTS:

	REQUIRED	PROVIDED
MINIMUM LOT AREA:	NONE	58,670± SF
MINIMUM LOT FRONTAGE & WIDTH:	50 FT	150± FT
MINIMUM FRONT YARD SETBACK:	25 FT*	3.5± FT (2)
SIDE SETBACK:	25 FT	N/A
REAR SETBACK:	25 FT	N/A
OPEN SPACE:	N/A	6
MAXIMUM NUMBER STORIES:	8	N/A
MAXIMUM FLOOR AREA RATIO:	2	1.3

*PER SECTION 4.3.5 OF THE ZONING ORDINANCE ON LOTS ABUTTING STREETS ON MORE THAN ONE SIDE, THE FRONT YARD REQUIREMENTS OF EACH OF THE ABUTTING STREETS SHALL APPLY REGARDLESS OF DESIGNATED FRONT LOT LINES. THE REMAINING SIDES SHALL BE SUBJECT TO SIDE YARD REQUIREMENTS.

PARKING REQUIREMENTS:

	REQUIRED	PROVIDED
PARKING STALL LAYOUT:	9' x 18'	9' x 18'
PARKING SETBACK:	10 FT	10 FT
FROM LOT LINE:	10 FT	10 FT
90° (2-WAY TRAFFIC):	24'	24'
ACCESSIBLE PARKING:	4 SPACES	5 SPACES
78-100 SPACES:		

OFF-STREET PARKING SPACES REQUIRED:
HOTEL: 140 ROOMS X 0.5 SPACE/ROOM = 70 SPACES
TOTAL PARKING SPACES REQUIRED = 70 SPACES

PARKING SPACES PROVIDED:
OFF-STREET PARKING: 97 SPACES
TOTAL OFF-STREET PARKING = 97 SPACES
TOTAL PARKING PROVIDED = 97 SPACES

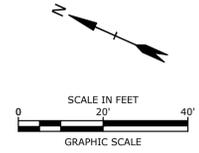
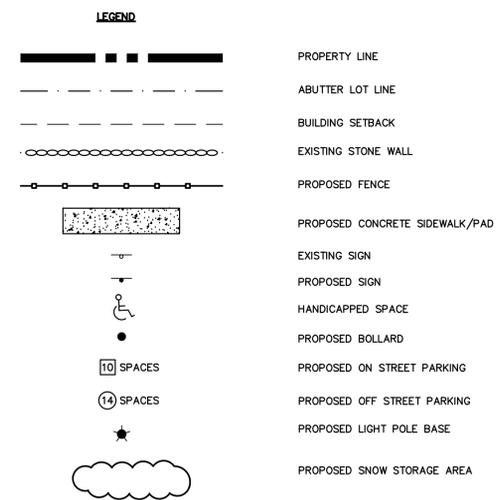
HOTEL BUILDING AREA
1ST FLOOR HOTEL LOBBY & AMENITIES = 9,451± SF
2ND-6TH FLOOR HOTEL = 131,544± SF
TOTAL = 141,000± SF

LOADING REQUIREMENTS:

	REQUIRED	PROVIDED
HOTELS:		
8,000-20,000 SF:	1 SPACE	
EACH ADDITIONAL 50,000 SF:	1 SPACE	
HOTEL FLOOR AREA = 74,462 SF:	2 SPACES	0 SPACES (3)
*LOADING AREAS PROVIDED IN 4 PROPOSED ON-STREET PARKING SPACES ALONG ARLINGTON STREET.		

SPECIAL PERMIT / VARIANCES:
(1) SECTION 8.1 - NEW BUILDING FLOOD ZONE (SPECIAL PERMIT)
(2) SECTION 4.1 - FRONT YARD SETBACK REQUIREMENT (VARIANCE)
(3) SECTION 5.2.1 - LOADING REQUIREMENT (SPECIAL PERMIT)
(4) SECTION 4.2.8 - FENCES AND HEDGES (VARIANCE)

- SITE NOTES:**
- STRIPED PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES (ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F").
 - ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
 - SEE DETAILS FOR PARKING STALL MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
 - CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
 - PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
 - THE CONTRACTOR SHALL EMPLOY A MASSACHUSETTS LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES.
 - CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
 - ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR TOWN CODES & SPECIFICATIONS.
 - WORK WITHIN ARLINGTON STREET AND FAYETTE STREET SHALL BE COORDINATED WITH CITY OF QUINCY.
 - CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (DWG FILE) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A MASSACHUSETTS LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
 - SEE ARCHITECTURAL DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
 - ALL WORK SHALL CONFORM TO THE CITY OF QUINCY PUBLIC WORKS DEPARTMENT, STANDARD SPECIFICATIONS.
 - CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
 - ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
 - COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - PROPERTY MANAGEMENT SHALL BE RESPONSIBLE FOR TIMELY SNOW REMOVAL FROM ALL PRIVATE SIDEWALKS, DRIVEWAYS, AND PARKING AREAS. SNOW SHALL BE HAULED OFF-SITE AND LEGALLY DISPOSED OF WHEN NECESSARY TO MAINTAIN ADEQUATE SNOW STORAGE AREAS.
 - PRIOR TO ACCEPTANCE OF AS-BUILT PLANS, A PROFESSIONAL MASSACHUSETTS LICENSED SURVEYOR SHALL SET STONE OR CONCRETE SURVEY MONUMENTS TO DELINEATE THE PUBLIC RIGHT-OF-WAY.



Last Saved: 2/23/2016 3:27pm By: nahansen
Plotted On: Feb 23, 2016 3:27pm
Tighe & Bond, 200 State Street, Quincy, MA 01906
C:\Users\jlding\CAD\DESIGN\C-0872-2-SITE.dwg

PERMIT SET
NOT FOR CONSTRUCTION



Proposed Hotel Development

Cathartes

Quincy, Massachusetts

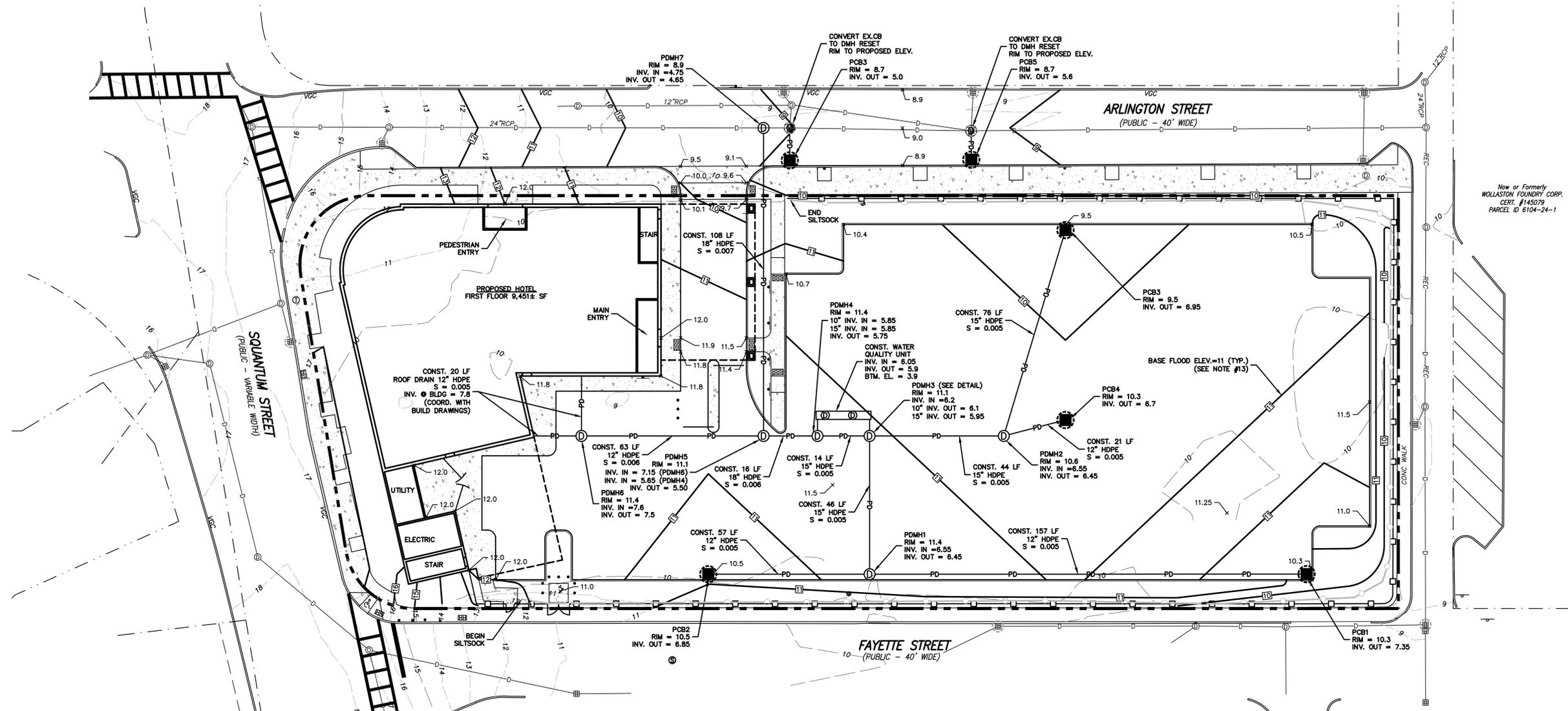
VERIFY SCALE
BAR IS 1 INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

MARK	DATE	DESCRIPTION
B	02/24/2016	Review Comment Revisions
A	01/07/2016	P.B. Submission
PROJECT NO: C-0872-2		
DATE: 2016/01/07		
FILE: C-0872-2-SITE.dwg		
DRAWN BY: NAH		
CHECKED: PMC		
APPROVED: GMM		

GRADING, DRAINAGE AND EROSION CONTROL PLAN

SCALE: AS SHOWN

C-3



Now or Formerly
WOLLASTON FOUNDRY CORP.
CERT. #145079
PARCEL ID 6104-24-1

GRADING AND DRAINAGE NOTES:

1. COMPACTION REQUIREMENTS:
BELOW PAVED OR CONCRETE AREAS 95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%
BELOW LOAM AND SEED AREAS 90%

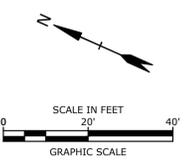
* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR APPROVED EQUAL), UNLESS OTHERWISE SPECIFIED.
3. SEE UTILITIES PLAN FOR ALL SITE UTILITY INFORMATION.
4. ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
5. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
6. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCHBASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
7. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
9. ALL PROPOSED CATCHBASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 3' SUMPS.
10. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND CITY OF QUINCY DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST REVISIONS.
11. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (DWG FILE) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A MASSACHUSETTS LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
12. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.
13. BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "AE", A SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE ELEVATION DETERMINED (EL. 11), AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR NORFOLK COUNTY, MASSACHUSETTS, MAP NUMBER 25021C0069F, CITY OF QUINCY COMMUNITY NUMBER 255219, PANEL NUMBER 0069F, HAVING AN EFFECTIVE DATE OF JUNE 9, 2014.
14. APPLICANT SHALL OBTAIN STORMWATER MANAGEMENT AND CONNECTION PERMITS FROM DPW PRIOR TO THE START OF CONSTRUCTION.

EROSION CONTROL NOTES:

1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
2. SEE GENERAL EROSION CONTROL NOTES ON DETAIL SHEETS.
3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCHBASIN INLETS WITHIN THE WORK LIMITS. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.
4. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
5. INSPECT INLET PROTECTION AND SILT FENCES DAILY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
6. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
7. CONSTRUCT EXCelsior MAT ON ALL SLOPES STEEPER THAN 3:1.
8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
11. ALL CATCHBASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
12. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED BY SILT FENCE AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLAND.
13. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.
14. CONCRETE TRUCKS WILL BE REQUIRED TO WASH OUT (IF NECESSARY) SHOOT ONLY WITHIN AREAS WHERE CONCRETE HAS BEEN PLACED. NO OTHER WASH OUT WILL BE ALLOWED.

LEGEND

---	PROPERTY LINE
- - - -	EXISTING CONTOUR
- - - - -	EXISTING 10' CONTOUR
— 62 —	FINISHED GRADE
— D —	EXISTING DRAINAGE PIPE
— PD —	PROPOSED DRAINAGE PIPE
○	SILT SOCK
10.5 ×	SPOT GRADE
⊙	PROPOSED INLET PROTECTION
⊙	EXISTING DRAIN MANHOLE
⊕	EXISTING CATCHBASIN
⊕	PROPOSED DRAIN MANHOLE
■	PROPOSED CATCHBASIN



Last Saved: 2/23/2016 3:28pm By: nahansen
Plotted On: Feb 23, 2016 3:30pm
Tighe & Bond, 100 State Street, Quincy, MA 01906
C-0872-2 Cathartes Private Investments, C-0872-2, Quincy, MA, CAD DESIGN, C-0872-2, SITE.dwg

PERMIT SET
NOT FOR CONSTRUCTION



Proposed Hotel Development

Cathartes

Quincy, Massachusetts

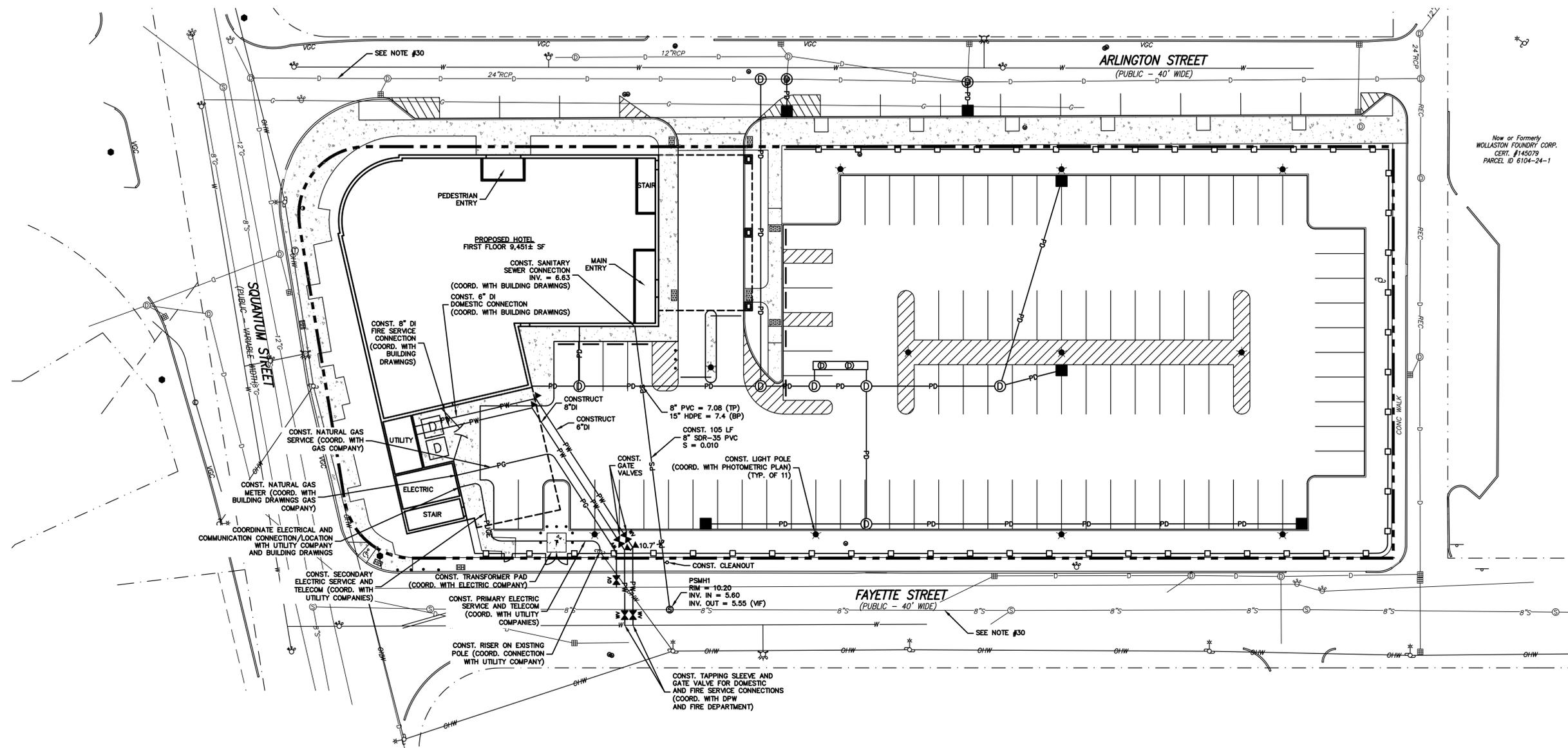
VERIFY SCALE
BAR IS 1 INCH ON ORIGINAL DRAWING
0 1 INCH
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

MARK	DATE	DESCRIPTION
B	02/24/2016	Review Comment Revisions
A	01/07/2016	P.B. Submission
PROJECT NO: C-0872-2		
DATE: 2016/01/07		
FILE: C-0872-2-SITE.dwg		
DRAWN BY: NAH		
CHECKED: PMC		
APPROVED: GMM		

UTILITIES PLAN

SCALE: AS SHOWN

C-4



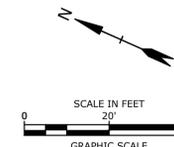
UTILITY NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
NATURAL GAS - NATIONAL GRID
WATER - CITY OF QUINCY WATER DEPARTMENT
SEWER - CITY OF QUINCY SEWER DEPARTMENT
ELECTRIC - NATIONAL GRID
TELECOMMUNICATION COMPANY
- SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
- ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE QUINCY WATER DEPARTMENT.
- ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- ALL WORK WITHIN CITY ROWS SHALL BE COORDINATED WITH CITY OF QUINCY.
- CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTING PROPERTIES THROUGHOUT CONSTRUCTION.
- CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED TO CITY STANDARDS.
- EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE UTILITY COMPANIES.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.

- CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
- THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILES) TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A MASSACHUSETTS LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
- HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF QUINCY.
- COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF QUINCY.
- ALL SEWER PIPE WITH LESS THAN 4' OF COVER SHALL BE INSULATED.
- CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ADJUTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ADJUTERS WITH THE UTILITY COMPANY AND AFFECTED ADJUTER.
- SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
- THE APPLICANT AGREES TO VIDEO CAMERA THE EXISTING DRAINAGE IN ARLINGTON STREET AND SEWER IN FAYETTE STREET AND WILL REPORT ITS FINDINGS TO DPW.

LEGEND

⊙	EXISTING DRAIN MANHOLE
—D—	EXISTING DRAINAGE
—PD—	PROPOSED DRAINAGE
⊙	EXISTING SEWER MANHOLE
—S—	EXISTING SEWER
—PS—	PROPOSED SEWER
*	EXISTING UTILITY POLE
—E—	EXISTING ELECTRIC/TELEPHONE/CABLE
—OHW—	EXISTING OVERHEAD WIRE
—PUGE—	PROPOSED UNDERGROUND ELECTRIC/TELECOMMUNICATION
★	PROPOSED LIGHT POLE BASE
⊙	MONITORING WELL
⊙	EXISTING WATER SHUTOFF VALVE
⊙	EXISTING HYDRANT
—W—	EXISTING WATER
—PW—	PROPOSED WATER
⊙	EXISTING GAS SHUTOFF VALVE
—G—	EXISTING GAS
—PG—	PROPOSED GAS



PROJECT NAME AND LOCATION
 HOTEL DEVELOPMENT
 1-15 ARLINGTON STREET AND 22-30 FAYETTE STREET
 NORTH QUINCY, MASSACHUSETTS

42°-16'-24"N
 71°-01'-47"W

OWNER
 TIGHE & BOND
 25 BEACH STREET
 DORCHESTER, MA 02122
 (617)-691-1500

ENGINEER
 TIGHE & BOND CONSULTING ENGINEERS
 177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 (603)-433-8818

DESCRIPTION
 THE PROJECT CONSISTS OF A MULTI-STORY HOTEL, ASSOCIATED PARKING AND STORMWATER MANAGEMENT IMPROVEMENTS.
 THE WORK IS ANTICIPATED TO START IN THE SUMMER OF 2016, AND BE COMPLETED BY THE SUMMER OF 2017.

DISTURBED AREA
 THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 1.35 ACRES.

SOIL CHARACTERISTICS
 BASED ON THE USCS SOIL SURVEY FOR NORFOLK AND SUFFOLK COUNTIES THE SOILS CONSIST OF URBAN LAND SOILS.

- SEQUENCE OF MAJOR ACTIVITIES**
1. CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:
 - DEMOLITION OF EXISTING STRUCTURES AND OTHER SITE FEATURES
 - NEW CONSTRUCTION
 - CONTROL OF DUST
 - CONSTRUCTION OF ACCESS AND HAUL DRIVES
 - NEARNESS OF CONSTRUCTION SITE TO RECEIVING WATERS
 - CONSTRUCTION DURING LATE WINTER AND EARLY SPRING
 2. ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPs PRIOR TO DIRECTING RUNOFF TO THEM.
 3. CLEAR AND DISPOSE OF DEBRIS.
 4. CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
 5. GRADE AND GRAVEL PARKING AREAS - ALL PARKING AREA SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
 6. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
 7. AVOID, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT SOCKS, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.
 8. FINISH PAVING ALL PARKING AREAS.
 9. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
 10. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
 11. REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

NOTE: THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.

NAME OF RECEIVING WATERS
 THE STORM WATER RUNOFF WILL BE COLLECTED ONSITE IN A CLOSED DRAINAGE SYSTEM AND DIRECTED TO THE EXISTING CLOSED MUNICIPAL DRAINAGE SYSTEM WITHIN ARLINGTON STREET.

EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

- A. STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN TWENTY ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE:
 1. TEMPORARY SEEDING
 2. MULCHING
- B. DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH BASKETS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY NOVEMBER 15.
- C. AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
 1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
 3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
 4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- D. WINTER STABILIZATION PRACTICES:
 1. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURE WITH ANCHOR NETTING, ELSEWHERE.
 2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITION.
 3. AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF GRAVEL BORROW PER MASSDOT ITEM M1.03.0, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

OFF-SITE VEHICLE TRACKING

THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES PRIOR TO ANY EXCAVATION ACTIVITIES.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES OF EROSION AND SEDIMENT CONTROLS

- A. GENERAL:**
 THESE ARE THE GENERAL INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO IMPLEMENT THE PLAN.
1. ALL SWALES SHALL BE STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
 2. THE SMALLEST PRACTICAL PORTION OF THE SITE WILL BE DENUDE AT ONE TIME.
 3. ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OR OTHER EVENT.
 4. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
 5. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT SOCK WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE SILT SOCK.
 6. ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
 7. TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.
 8. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
 9. A REPRESENTATIVE OF THE SITE CONTRACTOR, WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.
 10. THE EROSION CONTROL PROCEDURES SHALL CONFORM TO THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION" PREPARED BY THE NORFOLK AND SUFFOLK COUNTIES COUNTY SOIL AND WATER CONSERVATION DISTRICT.
 11. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES OR SPECIFICATIONS.
 12. THE USE OF SAND FOR THE PURPOSE OF PEDESTRIAN SAFETY AND SAFE DRIVING CONDITION SHALL BE MINIMIZED.
 13. THE OWNER SHALL CLEAN ALL CATCH BASINS, DRAIN MANHOLES AND SWEEP THE PARKING LOT ON AN ANNUAL BASIS.
- B. FILTERS:**
1. SILT SOCK
 - A. APPLICATION
 - I. SILT SOCK ARE TO BE INSTALLED DOWN SLOPE OF ANY DISTURBED AREA REQUIRING EROSION AND SEDIMENT CONTROL AND FILTRATION OF SOLUBLE POLLUTANTS FROM RUNOFF. SILT SOCK ARE EFFECTIVE WHEN INSTALLED PERPENDICULAR TO SHEET OR LOW CONCENTRATED FLOW.
 - II. INSTALLATION DETAILS
 1. SILT SOCK USED FOR PERIMETER CONTROL OF SEDIMENT AND SOLUBLE POLLUTANTS IN STORM RUNOFF SHALL MEET FILTERXX SOXX MATERIAL SPECIFICATIONS, OR APPROVED EQUAL, AND USE CERTIFIED FILTERXX FILTER MEDIA, OR APPROVED EQUAL.
 2. CONTRACTOR IS REQUIRED TO BE FILTERXX CERTIFIED AS DETERMINED BY FILTERXX INTERNATIONAL, LLC, OR APPROVED EQUAL CERTIFICATION SHALL BE CONSIDERED CURRENT IF APPROPRIATE IDENTIFICATION IS SHOWN DURING TIME OF BID OR AT TIME OF APPLICATION. LOOK FOR THE FILTERXX CERTIFIED SEAL, OR APPROVED EQUAL.
 3. SILT SOCK WILL BE PLACED AT LOCATIONS INDICATED ON PLANS AS DIRECTED BY THE ENGINEER.
 4. SILT SOCK SHOULD BE INSTALLED PARALLEL TO THE BASE OF THE SLOPE OR OTHER DISTURBED AREA, IN EXTREME CONDITIONS (I.E. 2:1 SLOPES), A SECOND SILT SOCK SHALL BE CONSTRUCTED AT THE TOP OF THE SLOPE.
 5. STAKES SHALL BE INSTALLED THROUGH THE MIDDLE OF THE SILT SOCK ON 10 FT CENTERS, USING 2 INCH BY 2 INCH BY 3 FEET WOODEN STAKES. IN THE EVENT STAKING IS NOT POSSIBLE, I.E., WHEN SILT SOCK ARE USED ON PAVEMENT, HEAVY CONCRETE BLOCKS SHALL BE USED BEHIND THE SILT SOCK TO HELP STABILIZE DURING RAINFALL/RUNOFF EVENTS.
 6. STAKING DEPTH FOR SAND AND SILT LOAM SOILS SHALL BE 12 INCHES, AND 8 INCHES FOR CLAY SOILS.
 7. LOOSE COMPOST MAY BE BACKFILLED ALONG THE UPSLOPE SIDE OF THE SILT SOCK, FILLING THE GAP BETWEEN THE SOIL SURFACE AND THE DEVICE, IMPROVING FILTRATION AND SEDIMENT RETENTION.
 8. IF THE SILT SOCK IS TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE, IT MAY BE SEEDED AT TIME OF INSTALLATION FOR ESTABLISHMENT OF PERMANENT VEGETATION.
 9. SILT SOCK ARE NOT TO BE USED IN PERENNIAL, EPHEMERAL, OR INTERMITTENT STREAMS.
 10. SEE DETAIL FOR CORRECT SILT SOCK INSTALLATION.
 - III. SEQUENCE OF INSTALLATION:
 - A. SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.
 - IV. MAINTENANCE:
 - A. SILT SOCK BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF

- B. WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM. SHOULD THE FABRIC ON A SILT SOCK BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- C. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT, THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD (1/3) THE HEIGHT OF THE BARRIER.
- D. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT SOCK BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

- C. MULCHING:
 1. TIMING:
 - A. IN ORDER FOR MULCH TO BE EFFECTIVE, IT MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. THERE ARE TWO (2) TYPES OF STANDARDS WHICH SHALL BE USED TO ASSURE THIS:
 - I. APPLY MULCH PRIOR TO A STORM EVENT. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS, USUALLY BY CONTACTING THE NATIONAL WEATHER SERVICE IN CONCORD, TO HAVE ADEQUATE WARNING OF SIGNIFICANT STORMS.
 - II. REQUIRED MULCHING WITHIN A SPECIFIED TIME PERIOD. THE TIME PERIOD CAN RANGE FROM 14 TO 21 DAYS OF INACTIVITY IN AN AREA. THE LENGTH OF TIME VARYING WITH SITE CONDITIONS. PROFESSIONAL JUDGMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS (SOIL ERODIBILITY, SEASON OF YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE POTENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO CHOOSE APPROPRIATE TIME RESTRICTION.
 2. APPLICATION RATE:
 - A. MULCH SHALL BE APPLIED AT A RATE OF BETWEEN 1.5 TO 2 TONS PER ACRE, OR 90 TO 100 POUNDS PER 1000 SQUARE FEET. THE MINIMUM MULCH REQUIREMENT, REGARDLESS OF APPLICATION RATE IS THAT SOIL MUST NOT BE VISIBLE.
 3. GUIDELINES FOR WINTER MULCH APPLICATION:
 - A. WHEN MULCH IS APPLIED TO PROVIDE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT SHALL BE AT A RATE OF 100 POUNDS OF HAY OR STRAW PER ACRE. A TACKIFIER MAY BE ADDED TO THE MULCH. NO MULCH IS TO BE APPLIED OVER MORE THAN TWO (2) INCHES OF SNOW. IF SNOW DEPTH IS GREATER THAN TWO (2) INCHES IT SHALL BE REMOVED BEFORE MULCHING.
 4. MAINTENANCE:
 - A. ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR RILL EROSION. IF LESS THAN 90% OF THE SOIL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED.
 5. EXCELSIOR MATTING:
 - A. EXCELSIOR MATTING SHALL BE USED IN PLACE OF MULCH ON ALL SLOPES STEEPER THAN 3:1.
 6. SLOPES:
 - A. ALL SLOPES GREATER THAN 15% DURING THE REGULAR CONSTRUCTION SEASON ARE TO HAVE NETTING OVER MULCH OR COMBINATION EROSION CONTROL MAT USED (MULCH AND NET). THIS APPLIES TO ALL SLOPES GREATER THAN 8% AFTER OCTOBER 1. MULCHING IS REQUIRED OVER HYDROSEEDING.
 - D. TEMPORARY GRADE COVER:
 1. SEEDING PREPARATION:
 - A. APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10 FERTILIZER.
 - B. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE.
 2. SEEDING:
 - A. UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS./ACRE.
 - B. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME, AND SEED.
 - C. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER), HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING.
 3. MAINTENANCE:
 - A. TEMPORARY SEEDINGS SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMS, ETC.).
 - E. PERMANENT MULCHING:
 1. TIMING:
 - A. APPLYING PLANT RESIDUES OR OTHER SUITABLE MATERIALS THAT RESIST DECOMPOSITION SUCH AS WOOD CHIPS OR CRUSHED STONE TO THE SOIL SURFACE WHERE VEGETATION STABILIZATION IS EITHER IMPRACTICAL OR DIFFICULT TO ESTABLISH.
 - B. WINTER STABILIZATION SHALL MEET OR EXCEED THE FOLLOWING REQUIREMENTS.
 2. CONSIDERATIONS:
 - A. PERMANENT MULCHING SHALL BE USED TO STABILIZE CHRONIC EROSION AREAS WHICH RECEIVE HEAVY FOOT OR VEHICLE TRAFFIC, NOT INTENDED FOR AREAS OF CONCENTRATED FLOWS.
 - B. IF WOOD CHIPS ARE USED IN LANDSCAPED AREAS (TREES & SHRUBS), A SUPPLEMENTAL APPLICATION OF CHEMICAL FERTILIZER SHOULD BE APPLIED AT A RATE OF TWO POUNDS OF 5-10-5 PER 100 SQUARE FEET OF MULCH.
 - C. IF CRUSHED STONE IS USED, A PLASTIC FILTER CLOTH SHALL BE PLACED BETWEEN THE GROUND AND THE STONE.
 3. SPECIFICATIONS:
 - A. WOOD CHIPS OR AGGREGATE SHALL BE USED ON SLOPES NO STEEPER THAN 3 HORIZONTALLY ON 1 VERTICALLY.
 - B. PERMANENT MULCH SHALL BE 3 INCHES OR MORE IN DEPTH.
 - C. WOOD CHIPS SHALL BE APPLIED AT A RATE OF 500-900 POUNDS PER 1,000 SQUARE FEET OR 10-20 TONS PER ACRE. WOOD CHIPS SHALL BE GREEN OR AIR-DRIED AND FREE OF OBJECTIONABLE COARSE MATERIALS.
 - D. AGGREGATE COVER (GRAVEL, CRUSHED STONE OR SLAG) SHALL BE WASHED, 0.25 INCHES TO 2.5 INCHES AND APPLIED AT A RATE OF 9 CUBIC YARDS PER 1,000 SQUARE FEET.
 4. MAINTENANCE:
 - A. WOOD CHIPS SHALL BE MONITORED FOR DECOMPOSITION AND NEW APPLICATIONS MADE.
 - B. CRUSHED STONE SHALL BE MONITORED FOR WASH OUT AND SLIPPING DOWN SLOPE. IF EITHER OCCUR, NEW MATERIAL SHALL BE PROVIDED ON THE BARREN AREAS.
 - F. VEGETATION PRACTICES:
 1. FOR PERMANENT MEASURES AND PLANTINGS.
 - A. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 3 TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.
 - B. FERTILIZER SHALL BE SPREAD ON THE SOIL LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER.
 - C. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4.5 POUNDS AND 5.5 POUNDS PER INCH OF WIDTH.
 - D. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED, ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH.
 - E. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE.
 - F. THE SURFACE SHALL BE WATERED WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED, ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED.
 - G. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDING AREAS UNTIL ACCEPTED.
 - H. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:

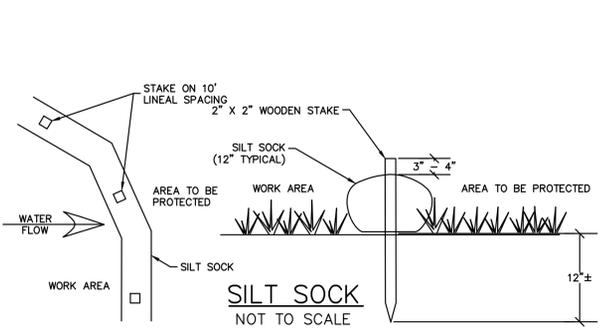
SEEDING RATE:	
CREeping RED FESCUE	20 LBS./ACRE
TALL FESCUE	18 LBS./ACRE
REDTOP	2 LBS./ACRE

 IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15, IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.
 2. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL)
 - A. FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.
 3. STORM DRAIN INLET PROTECTION:
 1. SILT SACK
 - A. SACK SHALL BE INSTALLED WITHIN CATCH BASIN, MAKING SURE EMPTY STRAPS ARE LAID FLAT OUTSIDE THE BASIN.
 - B. SACK SHALL FIT TIGHTLY WITHIN THE BASIN TO PREVENT SEDIMENT FROM GOING THROUGH ANY GAPS.
 - C. ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAINSTORM AND REPAIRS MADE AS NECESSARY.
 - D. SEDIMENT SHOULD BE REMOVED FROM THE DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE-THIRD THE DEPTH OF THE TRAP.
 - E. SILT SACK SHALL BE REMOVED UPON THE COMPLETION OF PROJECT.
 2. STABILIZED CONSTRUCTION ENTRANCE:
 1. SPECIFICATIONS
 - A. AGGREGATE SIZE: USE TWO (2) INCHES STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - B. AGGREGATE THICKNESS: NOT LESS THAN SIX (6) INCHES.
 - C. WIDTH: TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH OF POINTS WHERE INGRESS OR EGRESS OCCURS.
 - D. LENGTH: AS REQUIRED, BUT NOT LESS THAN FIFTY (50) FEET
 - E. GEOTEXTILE: TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE. PIPING OF SURFACE WATER UNDER ENTRANCE SHALL BE PROVIDED AS REQUIRED.
 - F. CRITERIA FOR GEOTEXTILE: THE FABRICS SHALL BE TREVIA SPUNBOND 1135, MIRAFI 600X OR APPROVED EQUAL.
 2. MAINTENANCE:
 - A. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES OR WATERWAYS.

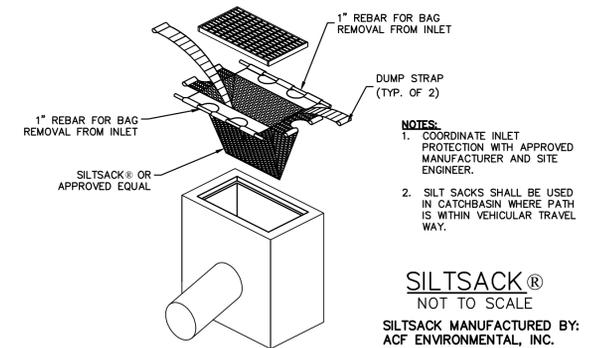
2. HAZARDOUS WASTE:
 1. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- C. SANITARY WASTE:
 1. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

- SPILL PREVENTION**
- A. MATERIAL MANAGEMENT PRACTICES:**
 THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
1. GOOD HOUSEKEEPING:
 - A. AN EFFORT WILL BE MADE TO STORE ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB.
 - B. ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 - C. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
 - D. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
 - E. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
 - F. WHENEVER POSSIBLE ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
 2. HAZARDOUS PRODUCTS:
 - A. THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
 - A. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
 - B. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.
 - C. SURPLUS PRODUCT THAT MUST BE DISPOSED OF WILL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.
 3. PRODUCT SPECIFICATION PRACTICES:
 - A. THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:
 1. PETROLEUM PRODUCTS:
 - A. ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
 - B. FERTILIZERS:
 - A. FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS. ONCE APPLIED FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
 - C. PAINTS:
 - A. ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
 - B. IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
 - A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
 - B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRAYS. CONTAINERS SPECIFICALLY FOR THIS PURPOSE SHALL BE PROVIDED AND KEPT FULLY STOCKED.
 - C. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 - D. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
 - E. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
 - F. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM RECURRING AND HOW TO CLEANUP THE SPILL IF IT RECURS. A DESCRIPTION OF THE SPILL, ITS CAUSE, AND THE CLEANUP MEASURES WILL BE INCLUDED.
 - G. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

4. DUST CONTROL:
 - A. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS.
5. CONCRETE WASHOUT AREA:
 - A. THE CONCRETE CONTRACTOR SHOULD BE ENCOURAGED WHERE POSSIBLE, TO USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY.
 - IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER.
 - WASHOUT AREAS SHOULD ALSO BE PROVIDED FOR PAINT AND STUCCO OPERATIONS.
 - ATTEMPTS SHOULD BE MADE TO LOCATE WASHOUT AREA A LEAST 50 YARDS AWAY FROM STORM DRAINS AND WATERWAYS WHENEVER POSSIBLE.
 - INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.
6. ALLOWABLE NON-STORMWATER DISCHARGES:
 1. DISCHARGES FROM FIRE-FIGHTING ACTIVITIES
 2. FIRE HYDRANT FLUSHINGS
 3. WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED
 4. WATER USED TO CONTROL DUST
 5. POTABLE WATER INC. UNCONTAMINATED WATER LINE FLUSHINGS
 6. ROUTINE EXTERNAL BUILDING WASH DOWN -NO DETERGENTS
 7. PAVEMENT WASH WATERS -NO SPILLS OR DETERGENTS
 8. UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATE
 9. UNCONTAMINATED GROUND WATER OR SPRING WATER
 10. FOUNDATION OR FOOTING DRAINS -NOT CONTAMINATED
 11. UNCONTAMINATED EXCAVATION DEWATERING
 12. LANDSCAPE IRRIGATION



STABILIZED CONSTRUCTION ENTRANCE
 NOT TO SCALE



SILTSACK®
 NOT TO SCALE
 SILTSACK MANUFACTURED BY:
 ACF ENVIRONMENTAL, INC.
 2831 CARDWELL ROAD
 RICHMOND, VIRGINIA 23237

PERMIT SET
 NOT FOR CONSTRUCTION



Proposed Hotel Development

Cathartes

Quincy, Massachusetts

VERIFY SCALE	
BAR IS 1 INCH ON ORIGINAL DRAWING	
0	1 INCH
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY	

MARK	DATE	DESCRIPTION
B	02/24/2016	Review Comment Revisions
A	01/07/2016	P.B. Submission

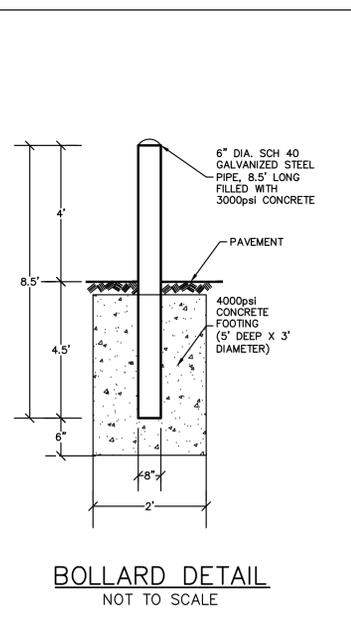
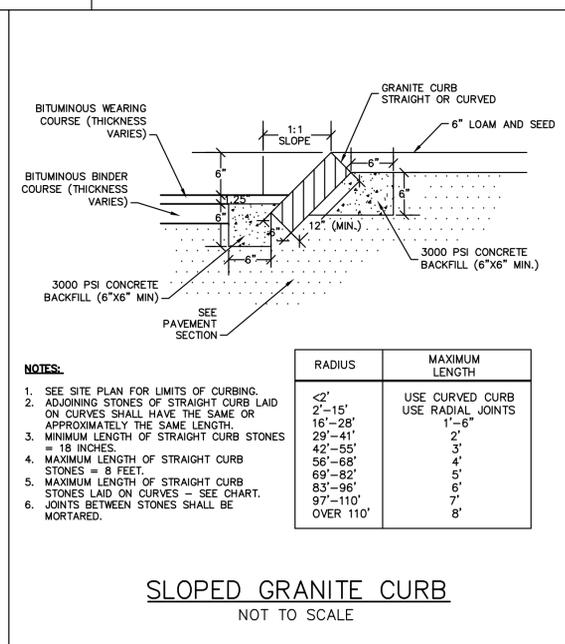
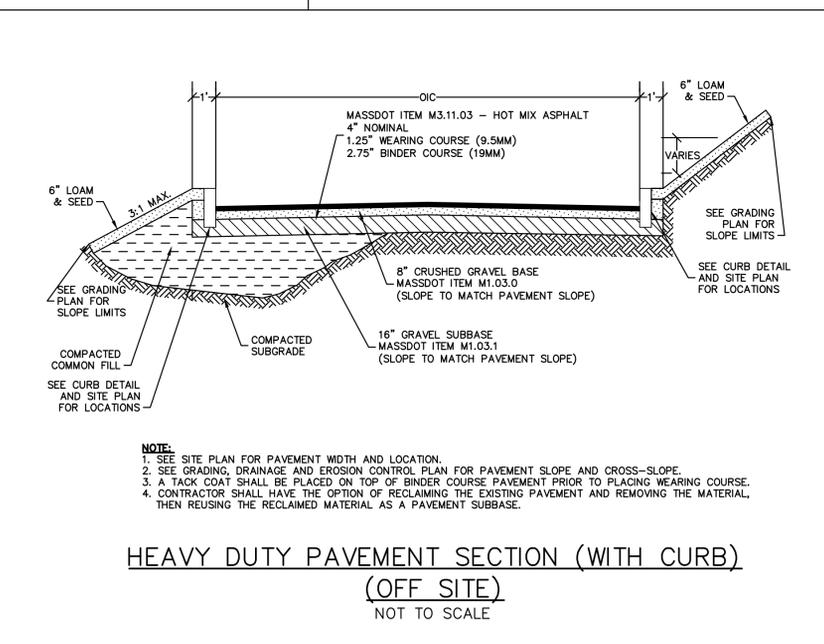
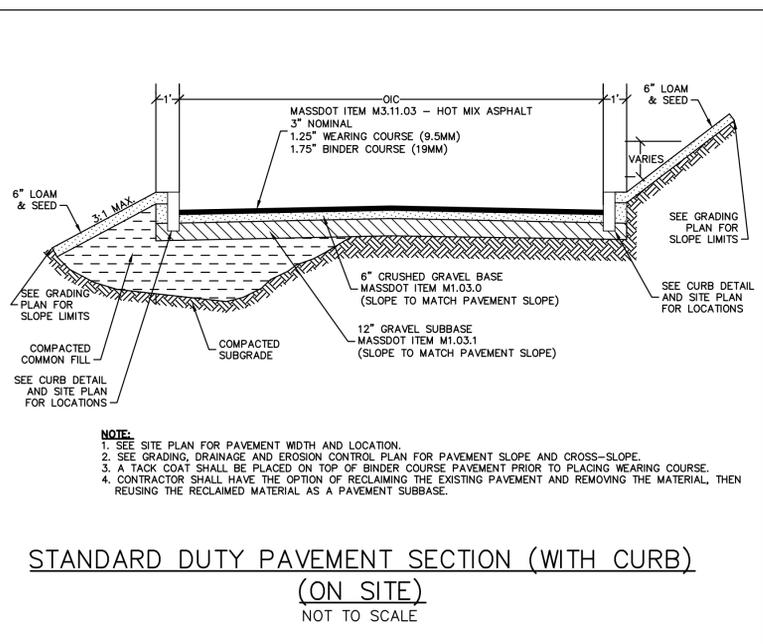
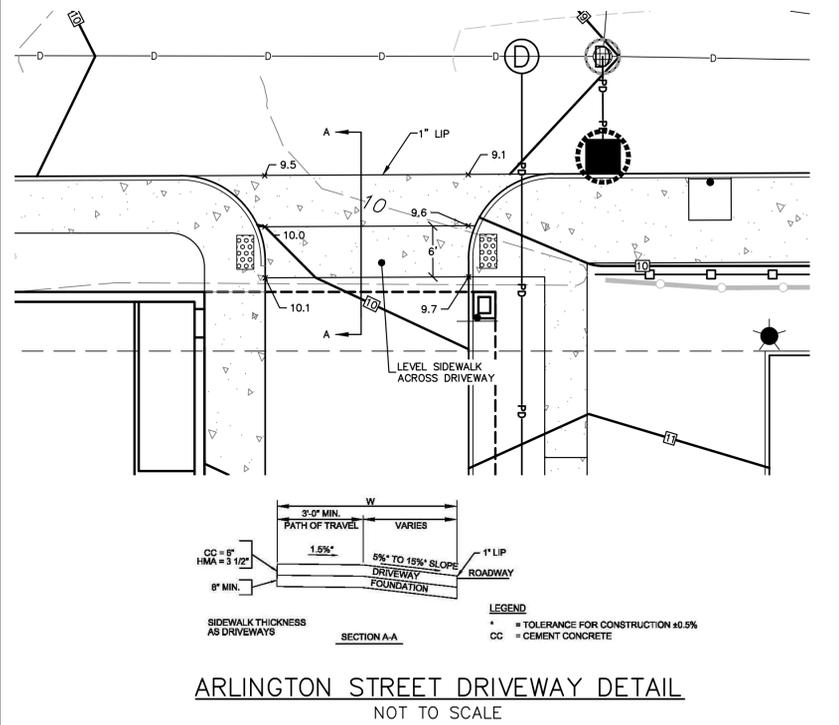
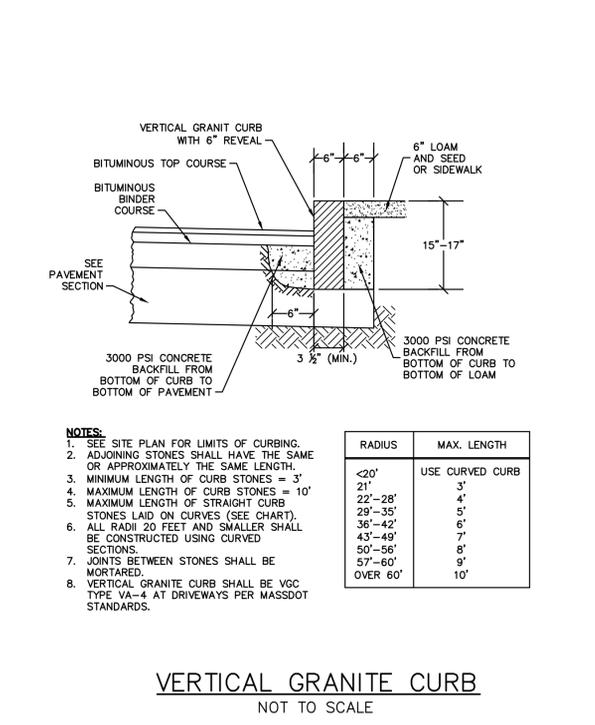
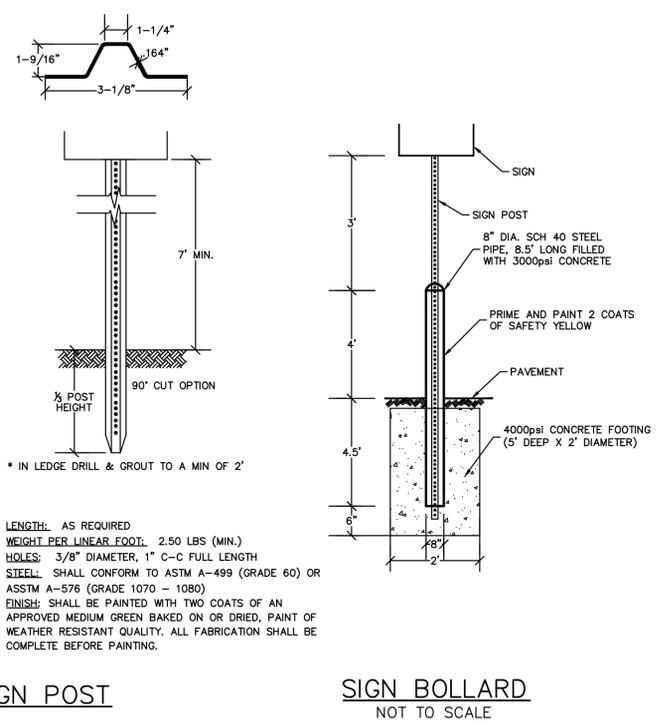
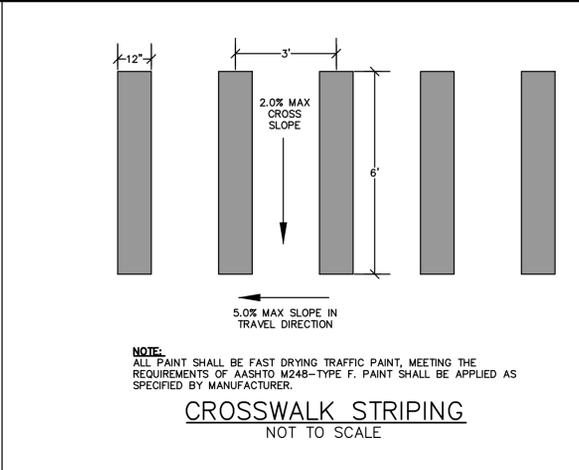
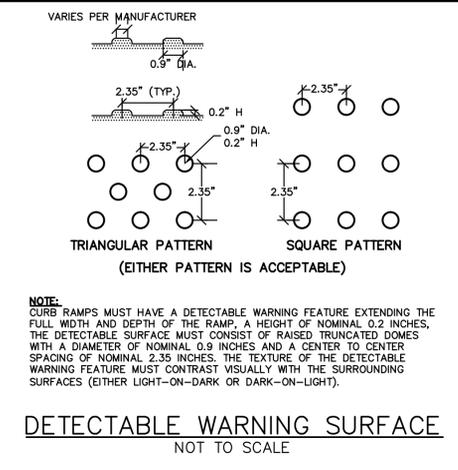
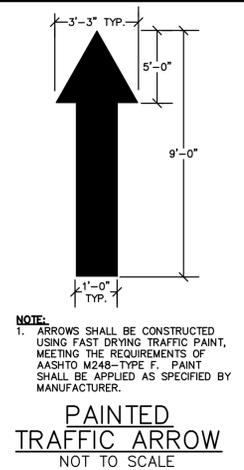
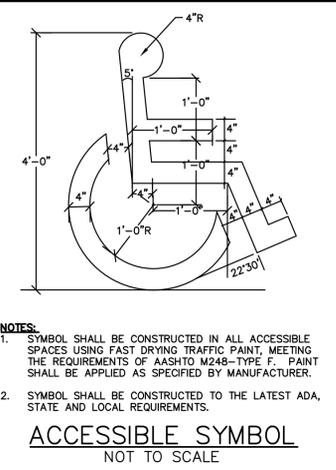
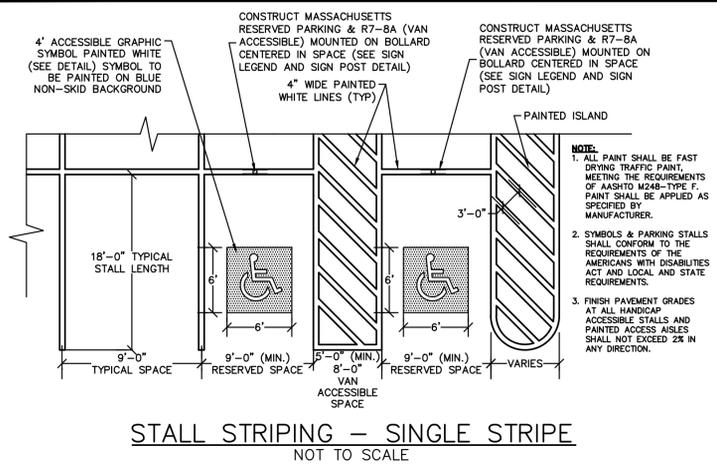
PROJECT NO:	C-0872-2
DATE:	2016/01/07
FILE:	C-0872-2-DETAILS.dwg
DRAWN BY:	NAH
CHECKED:	PMC
APPROVED:	GMM

EROSION CONTROL NOTES AND DETAILS

SCALE: AS SHOWN

Last Saved: 2/22/2016 10:21:37 AM
 Plotted On: Feb 23, 2016 3:37 PM
 Tighe & Bond, 25 Beach Street, Quincy, MA 01906
 Quincey, MA 01906
 C:\Users\jduig\Documents\Private Investments\C-0872-2-Details.dwg

PERMIT SET
NOT FOR CONSTRUCTION



Proposed Hotel Development

Cathartes

Quincy, Massachusetts

MARK	DATE	DESCRIPTION
B	02/24/2016	Review Comment Revisions
A	01/07/2016	P.B. Submission

PROJECT NO: C-0872-2
DATE: 2016/01/07
FILE: C-0872-2-DETAILS.dwg
DRAWN BY: NAH
CHECKED BY: PMC
APPROVED BY: GMM

DETAILS SHEET
SCALE: AS SHOWN
C-6

PERMIT SET
NOT FOR CONSTRUCTION



Proposed Hotel Development

Cathartes

Quincy, Massachusetts

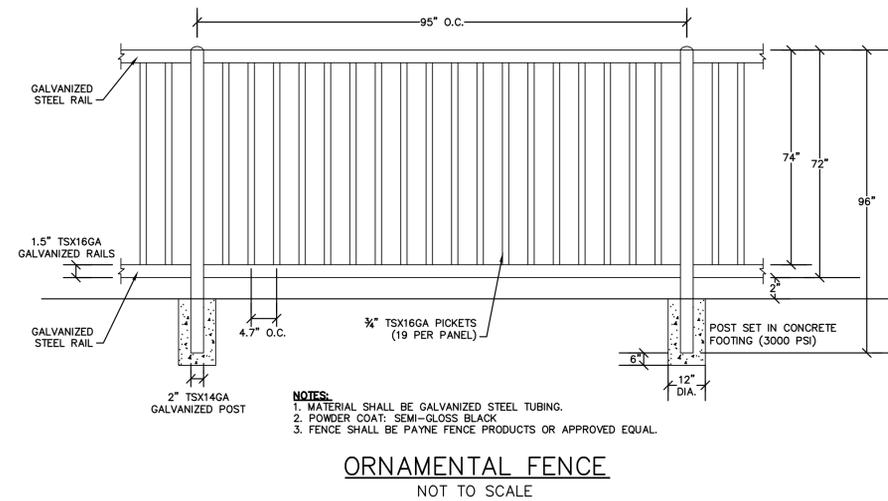
VERIFY SCALE
BAR IS 1 INCH ON ORIGINAL DRAWING
0 1 2 3 4 5 6 7 8 9 10
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

MARK	DATE	DESCRIPTION
B	02/24/2016	Review Comment Revisions
A	01/07/2016	P.B. Submission
MARK	DATE	DESCRIPTION
PROJECT NO: C-0872-2		
DATE: 2016/01/07		
FILE: C-0872-2-DETAILS.dwg		
DRAWN BY: NAH		
CHECKED: PMC		
APPROVED: GMM		

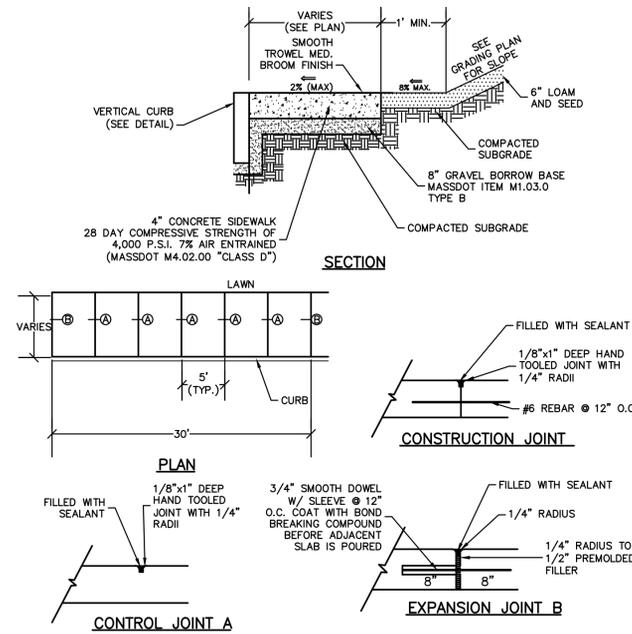
DETAILS SHEET

SCALE: AS SHOWN

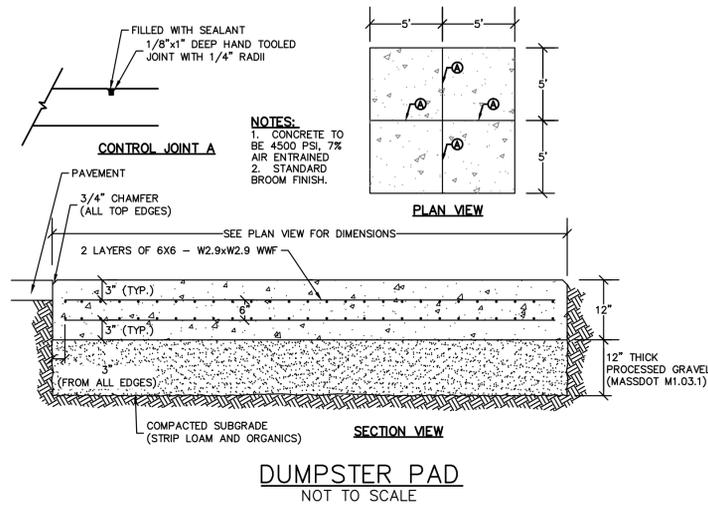
C-7



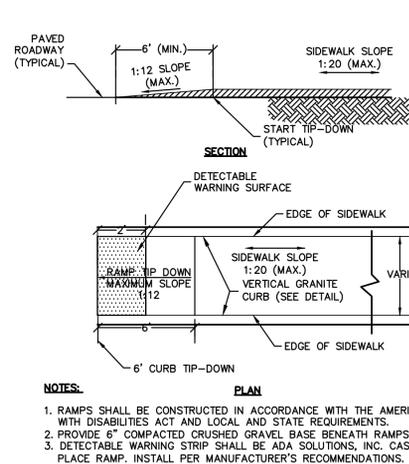
ORNAMENTAL FENCE
NOT TO SCALE



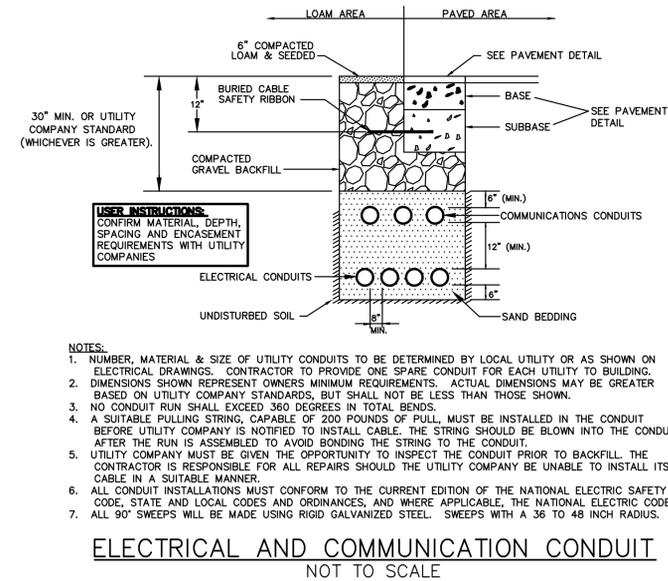
CONCRETE SIDEWALK WITH GRANITE CURB
NOT TO SCALE



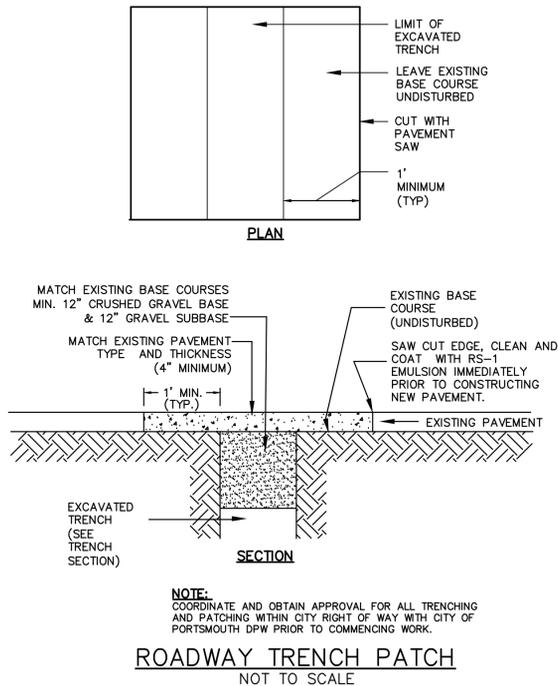
DUMPSTER PAD
NOT TO SCALE



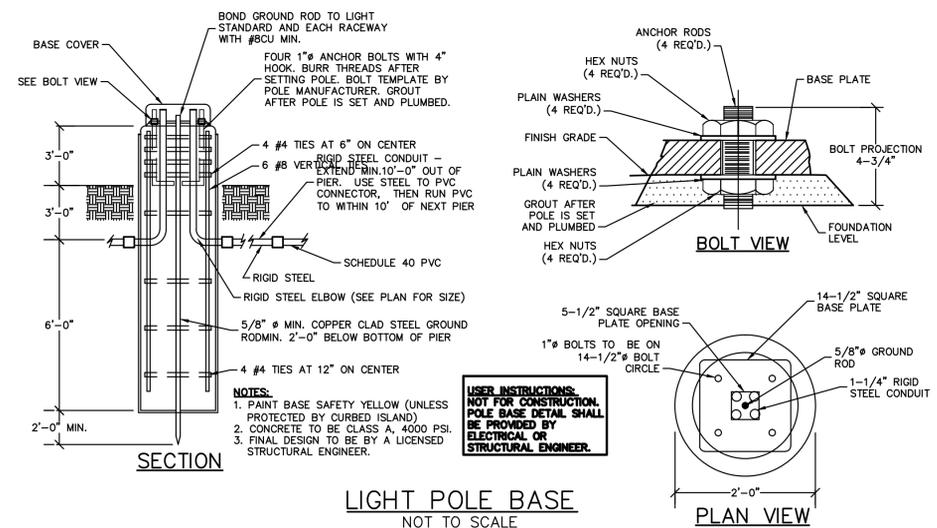
CONCRETE SIDEWALK TIP-DOWN RAMP
NOT TO SCALE



ELECTRICAL AND COMMUNICATION CONDUIT
NOT TO SCALE



ROADWAY TRENCH PATCH
NOT TO SCALE

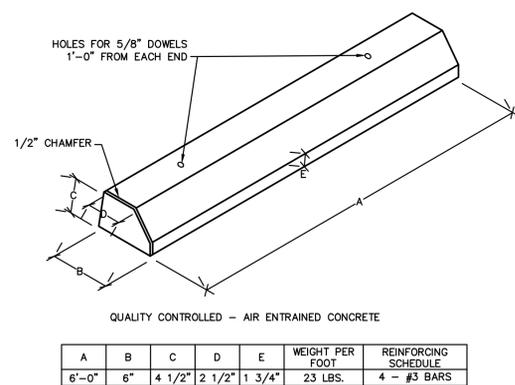


LIGHT POLE BASE
NOT TO SCALE



NOTES:
1. BIKE RACK SHALL BE CYCLE SAFE RAIL MOUNT INVERTED U/2 RACK (6 BIKE CAPACITY) MODEL 12700SR WWW.CYCLESAFE.COM OR APPROVED EQUAL.

BIKE RACK
NOT TO SCALE

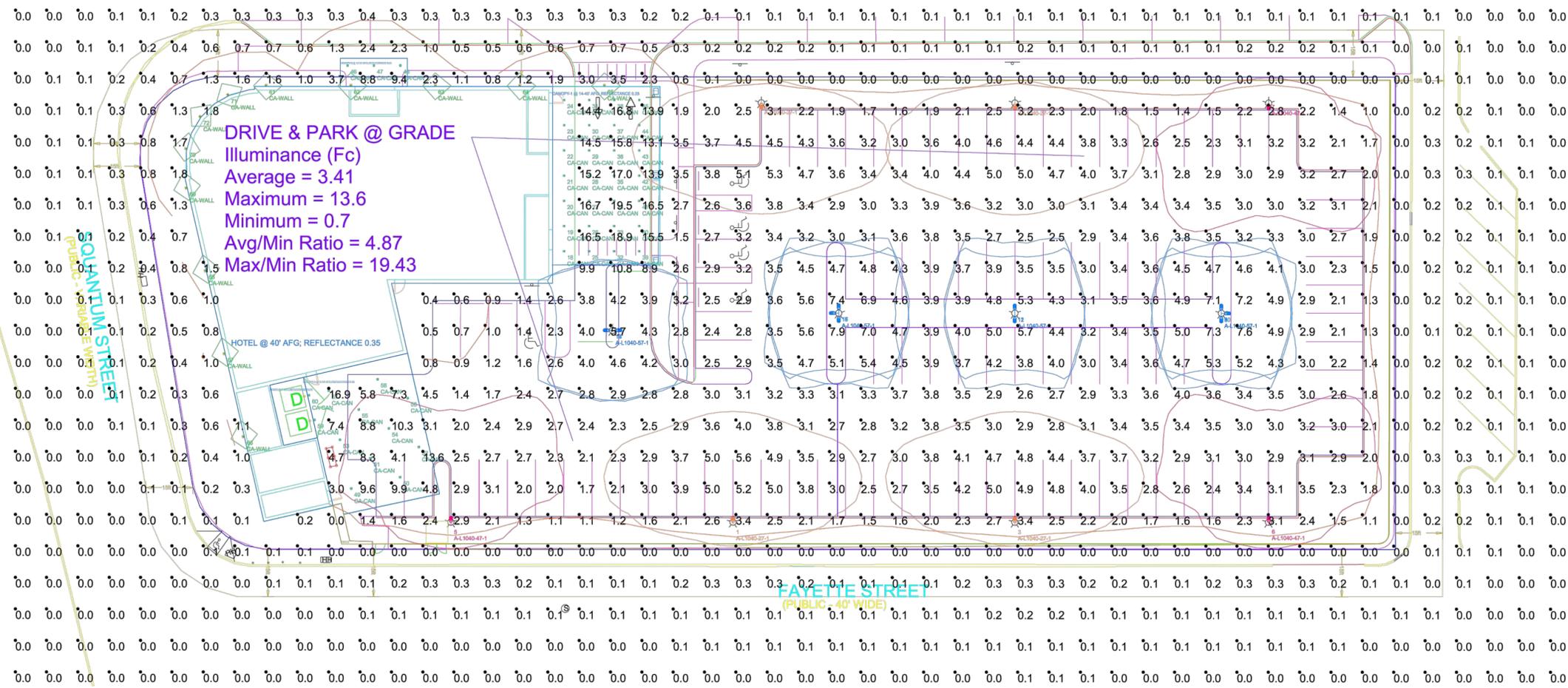


CONCRETE WHEEL STOP
NOT TO SCALE

A	B	C	D	E	WEIGHT PER FOOT	REINFORCING SCHEDULE
6'-0"	6"	4 1/2"	2 1/2"	1 3/4"	23 LBS.	4 - #3 BARS

NOTE:
CURBING TO BE PINNED THROUGH ASPHALT PAVEMENT.

PERMIT SET
NOT FOR CONSTRUCTION



Symbol	Qty	Label	Arrangement	Lum. Watts	Lum. Lumens	LLD	LDD	UDF	LLF	Description
	4	A-L1040-27-1	SINGLE	100.3	8014	1.000	1.000	1.000	1.000	EYE kiaroLED A-L1040-27_UL1098279_150617_1' ARM
	3	A-L1040-47-1	SINGLE	100.3	7582	1.000	1.000	1.000	1.000	EYE kiaroLED A-L1040-47_UL1098281_150609_1' ARM
	10	A-L1040-57-1	SINGLE	100.3	8571	1.000	1.000	1.000	1.000	EYE kiaroLED A-L1040-57_UL1098282_150605_1' ARM
	43	CA-CAN	SINGLE	22	1066	1.000	1.000	1.000	1.000	COMMERCIALY AVAILABLE LED RECESSED WET DOWNLIGHT
	12	CA-WALL	SINGLE	32.9	2200	1.000	1.000	1.000	1.000	COMMERCIALY AVAILABLE LED UP-DOWN SCONCE 6.5 DEGREE

NOTE: THESE ARE INITIAL ILLUMINANCE VALUES AS REQUESTED FOR LEED CALCULATIONS.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL POINTS	Illuminance	Fc	1.46	19.5	0.0	N.A.	N.A.
DRIVE & PARK @ GRADE	Illuminance	Fc	3.41	13.6	0.7	4.87	19.43

NOTE: 20' POLE PROVIDES 19.66' LIGHT CENTER.

LumNo	Label	X	Y	Z	Orient	Tilt	Switched
1	A-L1040-27-1	132.004	-2.995	19.66	90	0	On
2	A-L1040-27-1	222	131.983	19.66	270	0	On
3	A-L1040-27-1	222.004	-2.995	19.66	90	0	On
4	A-L1040-27-1	141.008	132.259	19.66	270	0	On
5	A-L1040-47-1	42.004	-2.995	19.66	90	0	On
6	A-L1040-47-1	303.086	-2.869	19.66	90	0	On
7	A-L1040-47-1	302.978	131.975	19.66	270	0	On
8	A-L1040-57-1	287.919	64.436	19.66	0	0	On
9	A-L1040-57-1	287.919	64.436	19.66	90	0	On
10	A-L1040-57-1	287.919	64.436	19.66	270	0	On
11	A-L1040-57-1	221.952	64.436	19.66	90	0	On
12	A-L1040-57-1	221.952	64.436	19.66	270	0	On
13	A-L1040-57-1	93.562	59.05	19.66	0	0	On
14	A-L1040-57-1	93.562	59.05	19.66	180	0	On
15	A-L1040-57-1	165.837	64.527	19.66	90	0	On
16	A-L1040-57-1	165.837	64.527	19.66	270	0	On
17	A-L1040-57-1	165.837	64.527	19.66	180	0	On
18	CA-CAN	78.071	84.133	13.99	0	0	On
19	CA-CAN	78.071	92.133	13.99	0	0	On
20	CA-CAN	78.071	100.133	13.99	0	0	On
21	CA-CAN	78.071	108.133	13.99	0	0	On
22	CA-CAN	78.071	116.133	13.99	0	0	On
23	CA-CAN	78.071	124.133	13.99	0	0	On
24	CA-CAN	78.071	132.133	13.99	0	0	On
25	CA-CAN	86.071	84.133	13.99	0	0	On
26	CA-CAN	86.071	92.133	13.99	0	0	On

Prepared for:
EYE Lighting International
9150 Hendricks Road
Mentor, OH 44060

Prepared by:
L.M. Ayers LC
Date:
23 February 2016
Software:
AGI32 version 15.3

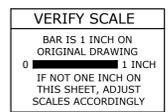
PHOTOMETRIC DATD USED IN THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES FOR LAMP, BALLAST, ELECTRICAL AND SITE CHARACTERISTICS.

Calculations are performed according to good engineering practices. Differences between measured values and calculated results might occur due to measurement techniques and field conditions like voltage and temperature variations. Input data for the attached acaulations such as room dimensions, reflectances, furniture, architectural and landscape elements significantly affect the lighting calculations. Variations between real environment conditions and the input data will create differences between measured values and calculated values.

Proposed Hotel Development

Cathartes

Quincy, Massachusetts



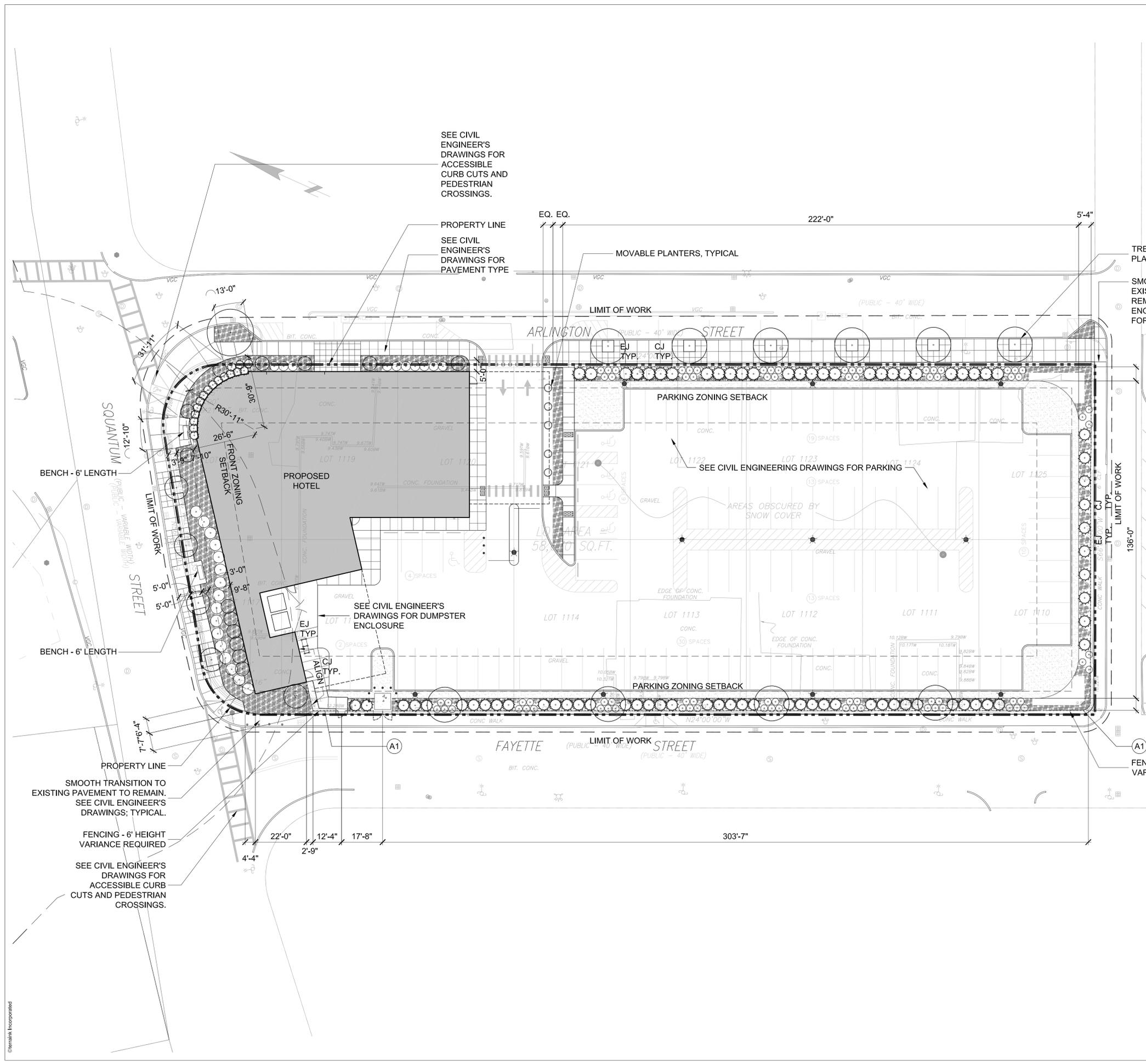
MARK	DATE	DESCRIPTION
B	02/24/2016	Review Comment Revisions
A	01/07/2016	P.B. Submission

PROJECT NO: C-0872-2
DATE: 2016/01/07
FILE: C-0872-2-SITE.dwg
DRAWN BY: NAH
CHECKED: PMC
APPROVED: GMM

PHOTOMETRIC PLAN

SCALE: AS SHOWN

Last Saved: 2/23/2016 3:36pm By: nahansen
Plotted On: Feb 23, 2016 3:36pm
Tighe & Bond, Inc. C-0872 Cathartes Private Investments C-0872-2 Quincy/DWG-CAD/DESIGN/C-0872-2-SITE.dwg



KEY	DETAIL	DESCRIPTION
(A1)	1/L1.01	FENCING STEEL PICKET, 6' HEIGHT VARIANCE REQUIRED.

- NOTES:**
- SEE ENGINEER'S PLANS FOR OVERALL SITE LAYOUT. LANDSCAPE ARCHITECT'S LAYOUT PERTAINS TO SPECIALIZED PAVING PATTERNS; SITE FURNISHINGS AND TYPICAL PEDESTRIAN CONCRETE SCORING PATTERNS.
 - SEE ENGINEER'S PLANS FOR VEHICULAR AND PEDESTRIAN LIGHT POLE AND FIXTURE LAYOUT.
 - SEE SHEET L3.01 FOR PLANTING PLAN.

terraink
 landscape architecture+planning
 7 Central St., Arlington, MA 02476
 telephone: 781.316.1555

- Notes:**
- All line and grade work per the Drawings and Specifications shall be laid out by a Registered Civil Engineer or Surveyor engaged by the Contractor.
 - All lines and dimensions are parallel or perpendicular to the lines from which they are measured unless otherwise indicated.
 - All dimensions are from face of building foundation, wall or curb unless otherwise noted.
 - The dimensions shown on the drawings indicate design intent and must be field verified prior to the preparation of Shop Drawings. Shop Drawings for all paving layout shall be based upon actual layout and field measurement by the Contractor.
 - The Contractor shall stake the centerline and edges of all elements in the field for approval by the Landscape Architect prior to beginning the work.
 - Restore existing conditions, including repaving, resetting site improvements, and seeding, as necessary in areas of proposed utility improvements.
 - Contractor is responsible for documenting the locations of any existing site elements to be reset in their same horizontal location.
 - CONDUIT SLEEVING: Conduit shall be (3) 2" PVC schedule 40 pipe sleeves under all paved surfaces for audio/visual, electrical and irrigation services as indicated on the Plan. Sleeve locations are to be identified with 1-foot lengths of rebar set flush with grade at the ends of the sleeves, Typical.
 - All Planting Areas are to receive irrigation, at a minimum, during plant establishment, as determined by Landscape Architect.

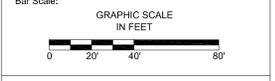
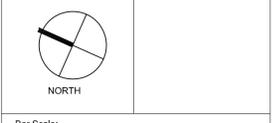


1 STEEL PICKET FENCE - DESIGN INTENT
 SCALE: N.T.S. IMAGE

LEGEND

- PROPERTY LINE
- - - ZONING SETBACK
- - - LIMIT OF WORK
- ○ CONTROL JOINT
- — EXPANSION JOINT
- — FENCE
- EQ. EQUAL
- O.C. ON CENTER
- TYP. TYPICAL
- V.I.F. VERIFY IN FIELD
- ○ PROPOSED DECIDUOUS AND EVERGREEN TREE | SHRUB
- ○ EXISTING DECIDUOUS AND EVERGREEN TREE | SHRUB
- SEED LAWN HATCH
- PERENNIAL HATCHES
- GROUNDCOVER HATCHES

No.	Date	Comment
1	02/24/2016	REVISION 01



Project Title:
**1 ARLINGTON STREET
 QUINCY, MA**

Sheet Title:
**LAYOUT AND
 MATERIALS**

Date: 23 DECEMBER 2015	Project #: 15029
Scale: 1" = 20'-0"	Drawn By: CK Checked By: JC KAC

Sheet Number:
L1.01

PLANT SCHEDULE - SHEET L3.01

TREES

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
1	AC	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	10'-12' HT.	BALL & BURLAP	40' O.C. (N)
13	CBF	CARPINUS BETULUS 'FRANS FONTAINE'	FRANS FONTAINE HORNBEAM	2-2.5" CAL.	B&B	15' O.C. (A)
1	LT	LIRIODENDRON TULIPIFERA	TULIP TREE	3-3.5" CAL.	B&B	35' O.C. (N)
10	QB	QUERCUS BICOLOR	SWAMP WHITE OAK	2-2.5" CAL.	B&B	35' O.C. (N)
4	QR	QUERCUS RUBRA	RED OAK	2-2.5" CAL.	B&B	35' O.C. (N)

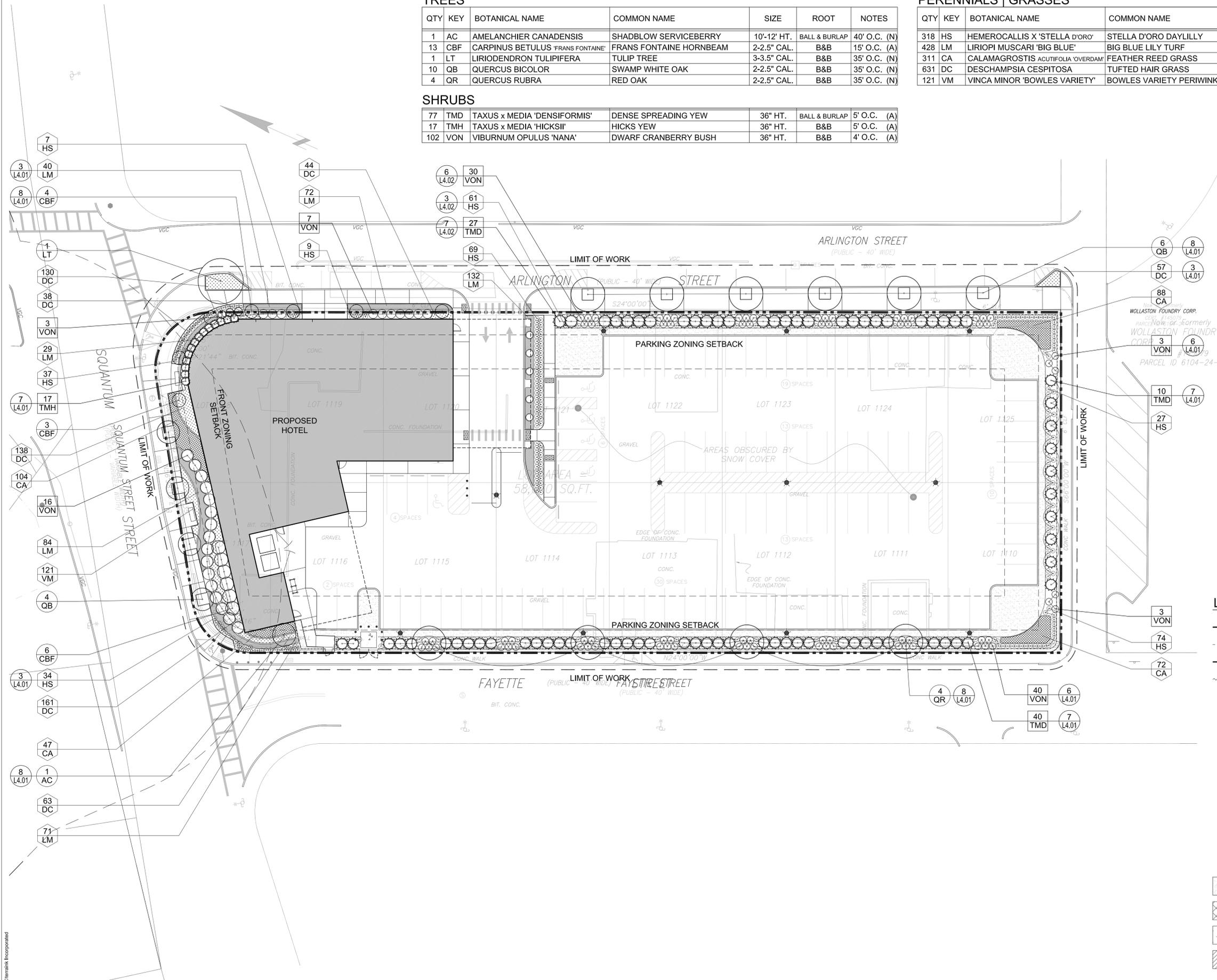
SHRUBS

77	TMD	TAXUS x MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	36" HT.	BALL & BURLAP	5' O.C. (A)
17	TMH	TAXUS x MEDIA 'HICKSII'	HICKS YEW	36" HT.	B&B	5' O.C. (A)
102	VON	VIBURNUM OPULUS 'NANA'	DWARF CRANBERRY BUSH	36" HT.	B&B	4' O.C. (A)

PERENNIALS | GRASSES

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
318	HS	HEMEROCALLIS X 'STELLA D'ORO'	STELLA D'ORO DAYLILLY	NA	#2 CONT.	18" O.C. (A)
428	LM	LIRIOPI MUSCARI 'BIG BLUE'	BIG BLUE LILY TURF	NA	#2 CONT.	18" O.C. (A)
311	CA	CALAMAGROSTIS ACUTIFOLIA 'OVERDAM'	FEATHER REED GRASS	NA	#2 CONT.	18" O.C. (A)
631	DC	DESCHAMPسيا CESPITOSA	TUFTED HAIR GRASS	NA	#2 CONT.	12" O.C. (N)
121	VM	VINCA MINOR 'BOWLES VARIETY'	BOWLES VARIETY PERIWINKLE	NA	#1 CONT.	12" O.C. (A)

O.C. = ON-CENTER SPACING
(N) = NATIVE SPECIES
(A) = ADAPTED SPECIES



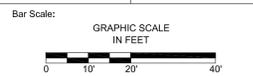
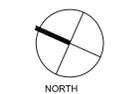
LEGEND

- PROPERTY LINE
- - - ZONING SETBACK
- - - LIMIT OF WORK
- ~~~~~ BEDLINE
- EXISTING DECIDUOUS TREE | SHRUB TO REMAIN
- ⊙ EXISTING EVERGREEN TREE | SHRUB TO REMAIN
- PROPOSED DECIDUOUS TREE | SHRUB
- ⊙ PROPOSED EVERGREEN TREE | SHRUB
- ⊠ TREE TAG
- ⊠ SHRUB TAG
- ⊠ PERENNIAL TAG
- ▨ SEED HATCH
- ▨ PERENNIAL HATCH
- ▨ PERENNIAL HATCH 2
- ▨ GROUNDCOVER HATCH



- Notes:
- All planting soils shall be (1) part topsoil, (1) part composted organic matter, (1) part native soil mixed prior to planting installation.
 - The Contractor shall confirm the actual depth of all planting areas prior to any plant material being secured. Report any ledge or substandard soil/subsurface conditions to the Landscape Architect.
 - The Contractor shall consider the displacement of planting soil from the plant material root balls in the overall planting bed finished grade. Allow enough room in the planting bed elevation to spread displaced soil and still meet the indicated finished grade including the 2" of hardwood mulch.
 - Any materials accumulated over the root flare of a tree or shrub must be removed completely until the root flare is exposed and all girdling roots removed prior to planting.
 - The Contractor shall locate and verify with the Landscape Architect all trees, shrubs, perennials, and/or groundcover to remain, to be removed, or to be transplanted. Protect in place all existing trees, shrubs, and groundcover to remain.
 - All new planting material shall conform to minimum guidelines established by the American Standard for Nursery Stock published by the American Association of Nurserymen, Inc. (ANN). In addition, all new plant material for the project shall be of specimen quality and the plant height shall be measured from the root flare, not the bottom of pot or burlap ball.
 - Stake the location of all proposed planting for approval by the Landscape Architect prior to the commencement of planting.
 - In the event that quantity discrepancies or material omissions occur between the plant materials list and the drawings, the higher number of plants shall govern. The Contractor shall report discrepancies to the Landscape Architect.
 - Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower leaf, fruit, color, and culture and must be approved by the Landscape Architect.
 - All lawn areas disturbed by construction operations inside and outside the Limit of Work shall be loamed and seeded.

No.	Date	Comment
1	02/24/2016	REVISION 01



Project Title:
**1 ARLINGTON STREET
QUINCY, MA**

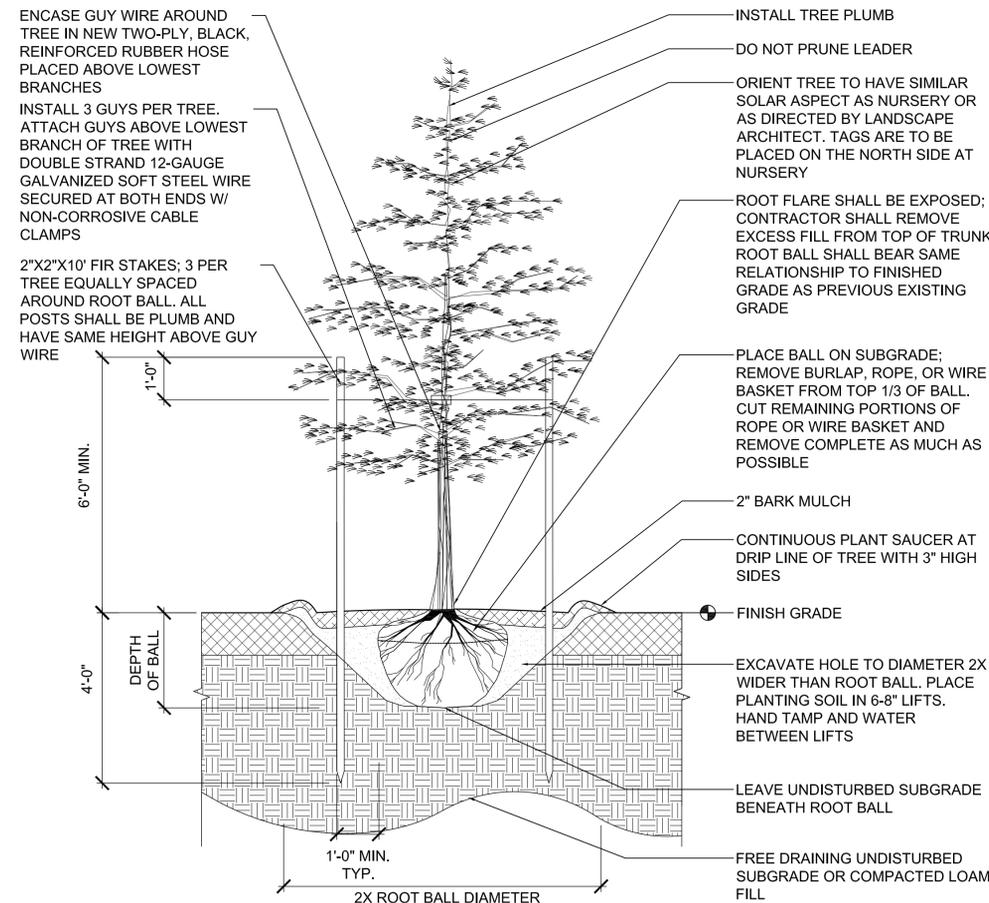
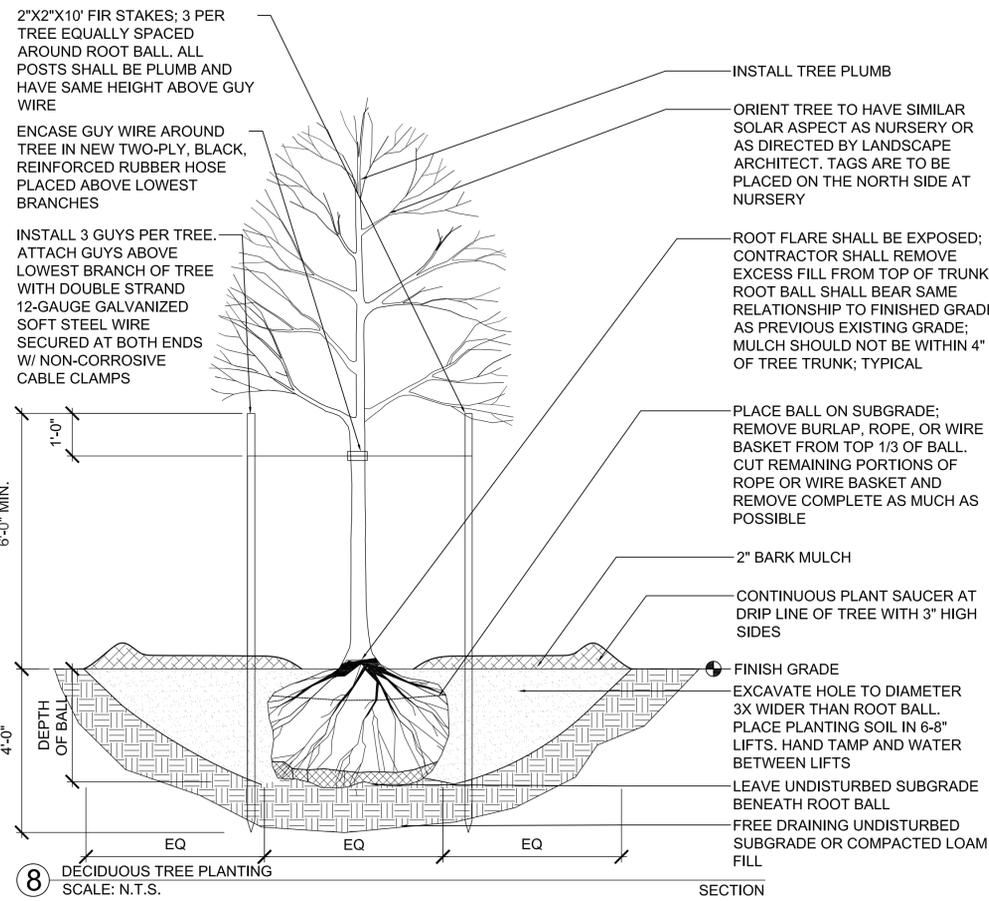
Sheet Title:
PLANTING

Date: 23 DECEMBER 2015 Project #: 15029

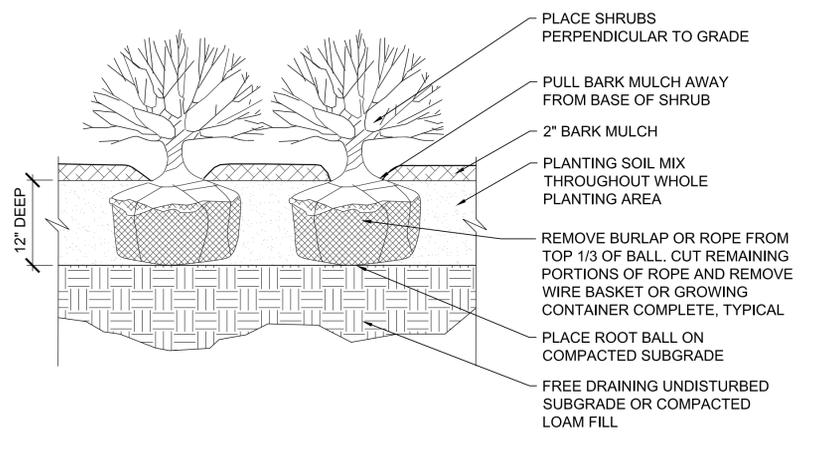
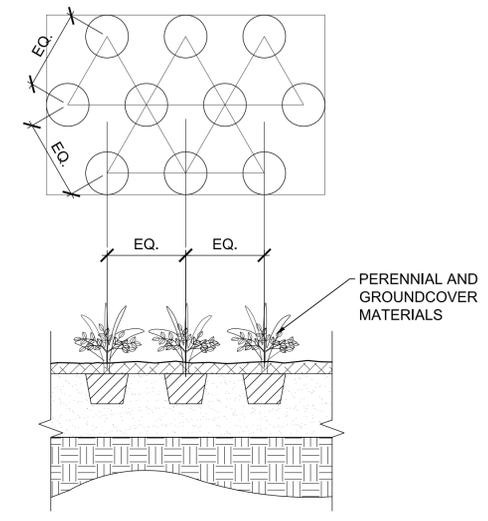
Scale: 1" = 20'-0" Drawn By: CK
Checked By: JC | KAC

Sheet Number:

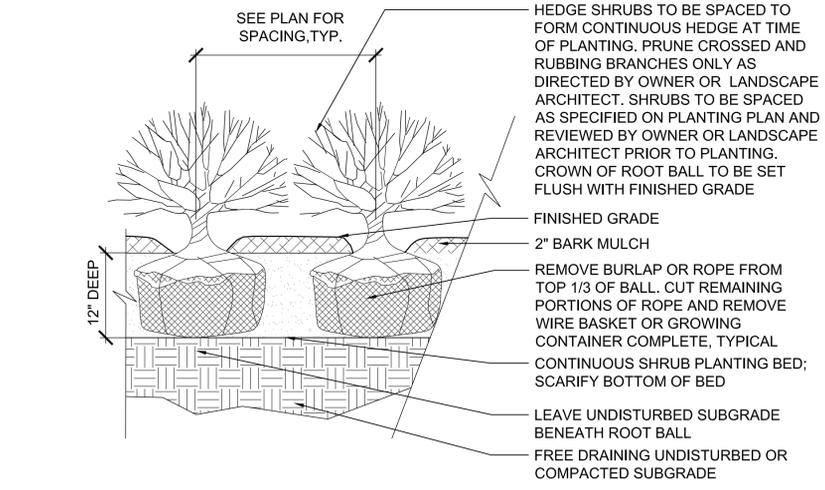
L3.01



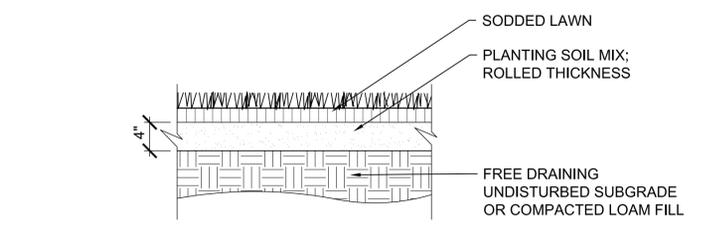
5 HERBACEOUS MATERIALS SPACING CHART SCALE: N.T.S. PLAN | SECTION



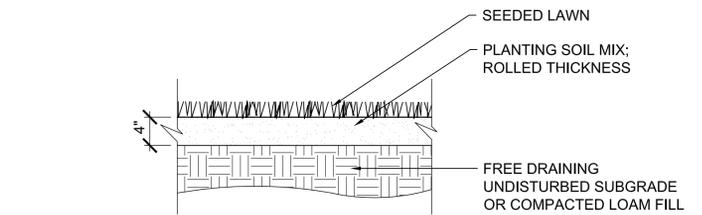
6 SHRUB PLANTING SCALE: N.T.S. SECTION



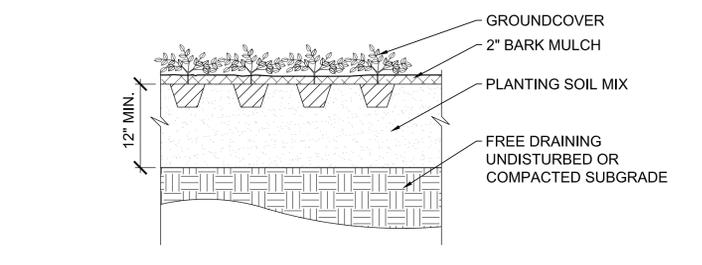
7 HEDGE PLANTING SCALE: N.T.S. SECTION



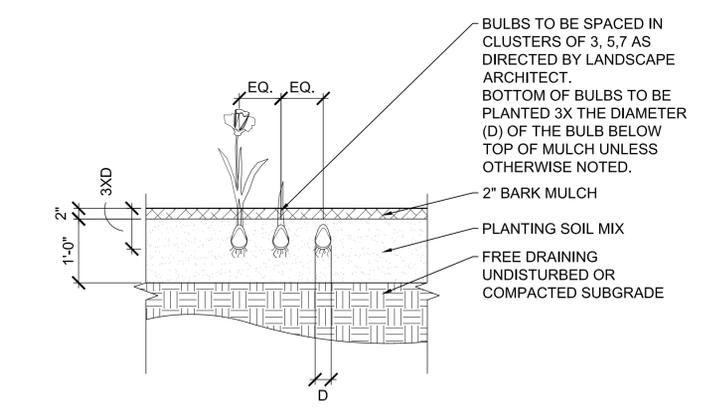
1 SOD LAWN SCALE: N.T.S. SECTION



2 SEED LAWN SCALE: N.T.S. SECTION



3 PERENNIAL PLANTING SCALE: N.T.S. SECTION



4 BULB PLANTING SCALE: N.T.S. SECTION

Notes:

No.	Date	Comment

Bar Scale:

Project Title:
**1 ARLINGTON STREET
QUINCY, MA**

Sheet Title:
**PLANTING
DETAILS**

Date: 23 DECEMBER 2015	Project #: 15029
Scale: AS SHOWN	Drawn By: CK Checked By: JC KAC

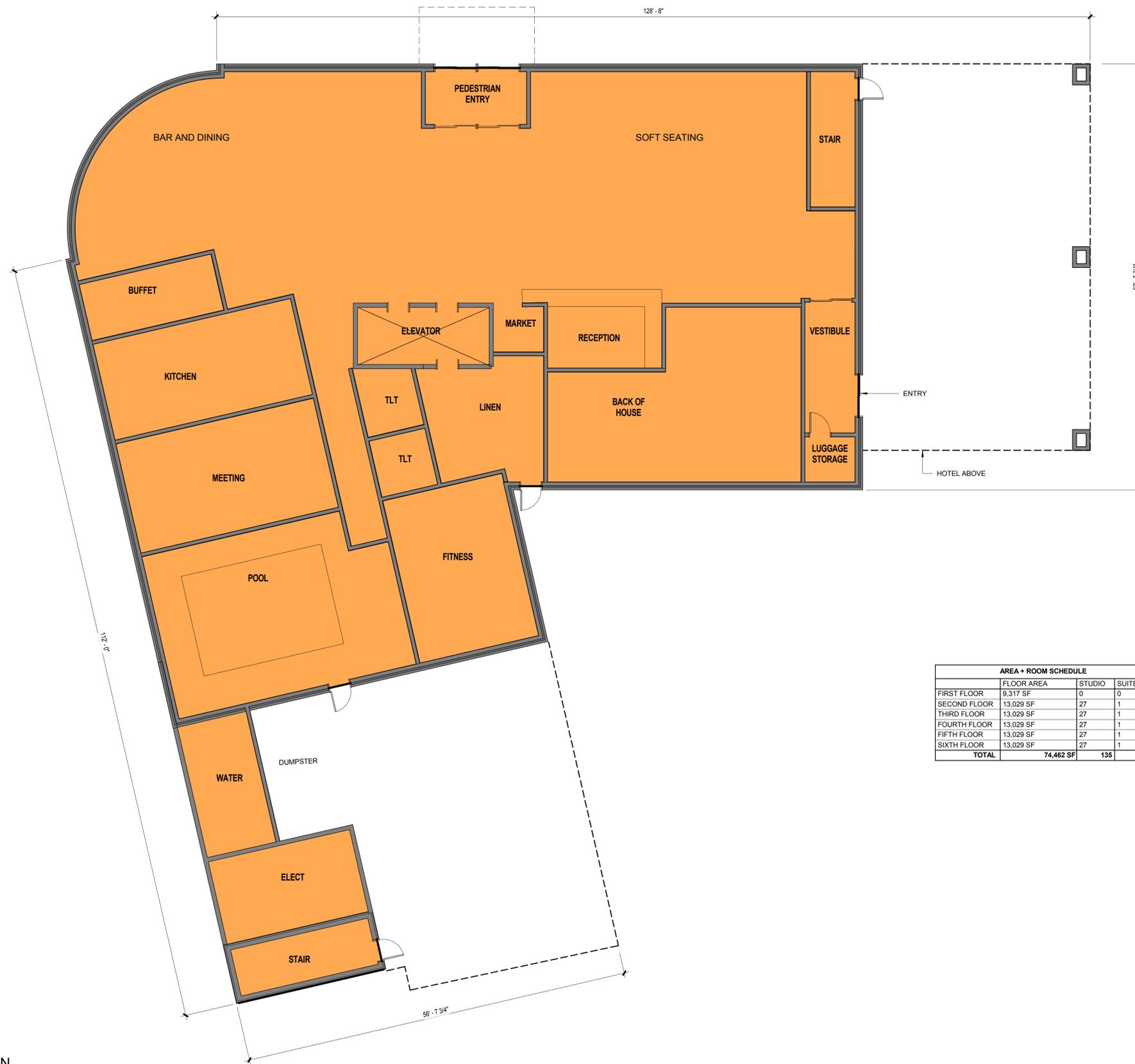
Sheet Number:

L4.01



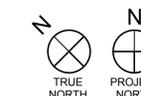
QUINCY PLACE
HOTEL





AREA + ROOM SCHEDULE				
	FLOOR AREA	STUDIO	SUITES	
FIRST FLOOR	9,317 SF	0	0	
SECOND FLOOR	13,029 SF	27	1	
THIRD FLOOR	13,029 SF	27	1	
FOURTH FLOOR	13,029 SF	27	1	
FIFTH FLOOR	13,029 SF	27	1	
SIXTH FLOOR	13,029 SF	27	1	
TOTAL	74,462 SF	135	5	140

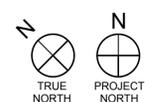
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"





AREA + ROOM SCHEDULE			
	FLOOR AREA	STUDIO	SUITES
FIRST FLOOR	9,317 SF	0	0
SECOND FLOOR	13,029 SF	27	1
THIRD FLOOR	13,029 SF	27	1
FOURTH FLOOR	13,029 SF	27	1
FIFTH FLOOR	13,029 SF	27	1
SIXTH FLOOR	13,029 SF	27	1
TOTAL	74,462 SF	135	5

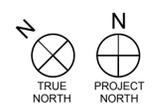
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"





AREA - ROOM SCHEDULE				
	FLOOR AREA	STUDIO	SUITES	
FIRST FLOOR	9,317 SF	0	0	
SECOND FLOOR	13,029 SF	27	1	
THIRD FLOOR	13,029 SF	27	1	
FOURTH FLOOR	13,029 SF	27	1	
FIFTH FLOOR	13,029 SF	27	1	
SIXTH FLOOR	13,029 SF	27	1	
TOTAL	74,462 SF	135	5	140

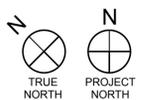
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"





AREA + ROOM SCHEDULE			
	FLOOR AREA	STUDIO	SUITES
FIRST FLOOR	9,317 SF	0	0
SECOND FLOOR	13,029 SF	27	1
THIRD FLOOR	13,029 SF	27	1
FOURTH FLOOR	13,029 SF	27	1
FIFTH FLOOR	13,029 SF	27	1
SIXTH FLOOR	13,029 SF	27	1
TOTAL	74,462 SF	135	5

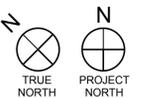
FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"





AREA + ROOM SCHEDULE			
	FLOOR AREA	STUDIO	SUITES
FIRST FLOOR	9,317 SF	0	0
SECOND FLOOR	13,029 SF	27	1
THIRD FLOOR	13,029 SF	27	1
FOURTH FLOOR	13,029 SF	27	1
FIFTH FLOOR	13,029 SF	27	1
SIXTH FLOOR	13,029 SF	27	1
TOTAL	74,462 SF	135	5

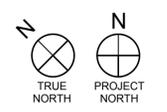
FIFTH FLOOR PLAN
SCALE: 1/8" = 1'-0"





AREA + ROOM SCHEDULE			
	FLOOR AREA	STUDIO	SUITES
FIRST FLOOR	9,317 SF	0	0
SECOND FLOOR	13,029 SF	27	1
THIRD FLOOR	13,029 SF	27	1
FOURTH FLOOR	13,029 SF	27	1
FIFTH FLOOR	13,029 SF	27	1
SIXTH FLOOR	13,029 SF	27	1
TOTAL	74,462 SF	135	5

SIXTH FLOOR PLAN
SCALE: 1/8" = 1'-0"



PREFINISHED METAL
CORNICE, TO MATCH METAL
PANEL

BUILDING MOUNTED LIGHTS,
AS SHOWN

QUINCY PLACE
HOTEL

PRECAST CONCRETE
BRICK CAP, TYP
ALUMINUM COMPOSITE PANEL
FIBERGLASS WINDOW
FRAMES TO MATCH METAL
PANEL
PAINTED ALUMINUM LOUVER
TO MATCH METAL PANEL
BRICK VENEER

CAST STONE TRIM
CAST STONE BLOCK
ALUMINUM STOREFRONT
FRAMES TO MATCH
METAL PANEL

8' 6"
2'
13' 0"
10' 0"
10' 0"
10' 0"
10' 0"
10' 0"
10' 0"
10' 0"
72' 0"
17' 0"
1ST FLOOR
17' 0"
@ 1ST FLOOR

WEST ELEVATION



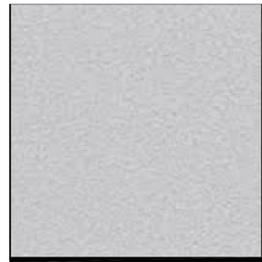
PREFINISHED METAL
CORNICE, TO MATCH METAL
PANEL

PRECAST CONCRETE
BRICK CAP, TYP
ALUMINUM COMPOSITE PANEL
FIBERGLASS WINDOW
FRAMES TO MATCH METAL
PANEL
PAINTED ALUMINUM LOUVER
TO MATCH METAL PANEL
BRICK VENEER

CAST STONE TRIM
CAST STONE BLOCK
ALUMINUM STOREFRONT
FRAMES TO MATCH
METAL PANEL



SOUTH ELEVATION



- STOREFRONT FRAMES
- CURTAINWALL FRAMES
- UPPER LEVEL WINDOW FRAMES SHALL BE PAINTED TO MATCH



- ALUMINUM COMPOSITE METAL PANEL
- PREFORMED METAL CORNICE



- TYPICAL BRICK VENEER @ UPPER LEVELS



- TYPICAL GROUT - SOLOMON COLORS | PORTLAND / 1/2 LIME "NATURAL"



VIEW FROM CORNER OF ARLINGTON STREET AND WEST SQUANTUM STREET



- PRECAST ACCENT BAND
- BRICK CAP



- TYPICAL STONE VENEER @ FIRST FLOOR - "NATURAL"

NOTE:
COLORS AND MATERIALS REPRESENTED ON THIS EXTERIOR COLORS AND MATERIALS ARE DIGITAL EXAMPLES OF THE ACTUAL MATERIALS. ACTUAL MATERIAL SAMPLES AND COLORS WILL BE PRESENTED AT THE PLANNING BOARD MEETING.

PROPOSED HOTEL EXTERIOR COLOR AND MATERIALS BOARD

1-7 Arlington Street 22-30 Fayette Street
Quincy, Massachusetts

date: 24 february 2016

