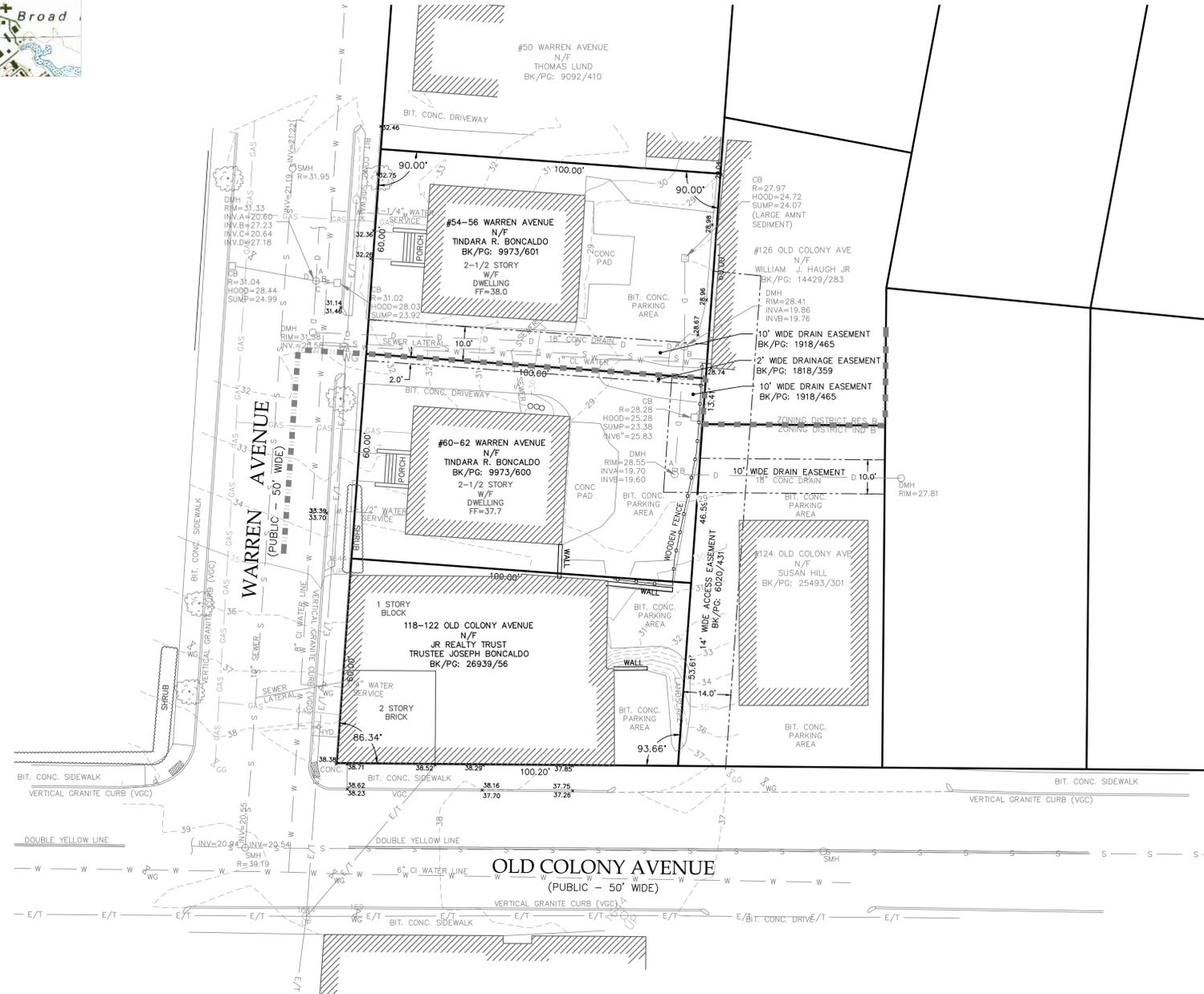


LOCUS: 118 OLD COLONY AVENUE - QUINCY MA



DEED REFERENCE

1. BOOK 5004, PAGE 419
2. BOOK 9973, PAGE 600
3. BOOK 26939, PAGE 56

PLAN REFERENCE

1. LC PLAN #1430G
2. PLAN BOOK D0480, PAGE 900
2. PLAN BOOK 1749, PAGE 515
3. LC PLAN #7871A
4. PLAN OF EASEMENTS FOR DRAINAGE, QUINCY MA, BOOK 2028 PAGE 226

GENERAL NOTES

1. SITE FEATURES AND UTILITIES SHOWN ON THIS PLAN ARE BASED ON A COMPILATION OF RECORD PLANS, PLANS ACQUIRED FROM UTILITY PROVIDERS, AERIAL IMAGERY AND A LAND INSTRUMENT SURVEY.
2. LOCATIONS OF SUBSURFACE UTILITIES ARE APPROXIMATE. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION, CONTACT DIG SAFE AT 1-888-DIGSAFE AT LEAST 72 HOURS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. VERTICAL DATUM IS CITY OF QUINCY BASE - SEWER INVERTS IN WARREN AVENUE AND OLD COLONY AVENUE UTILIZED TO DETERMINE ELEVATION.
4. THE PARCELS ARE LOCATED WITHIN FLOOD ZONE X - AREAS OF MINIMAL FLOODING, BASED ON FEMA FIRM MAP NUMBER 25021C0069F LAST REVISED JUNE 9, 2014

d. a. kinsella company
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 295 STATE STREET
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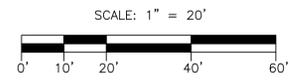
IN CONSTRUCTION WITH:
 NICHOLAS VALLEY SURVEY ASSOC., INC.
 95 WHITE STREET
 QUINCY, MA 02269

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CLIENT:
PHILIP BONCALDO
 118 OLD COLONY, 54-56
 WARREN AVE.
 & 60-62 WARREN AVE.
 QUINCY, MA

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SCALE:	1" = 20'	DRAWN BY:	EVJ
DATE:	05/20/15	CHECKED BY:	MGJ
ZBA/PB COMMENTS	09/09/15		
REVIEW COMMENTS	08/11/15		
OWNER REVISION	08/05/15		
REVIEW COMMENTS	07/10/15		
REVISED			

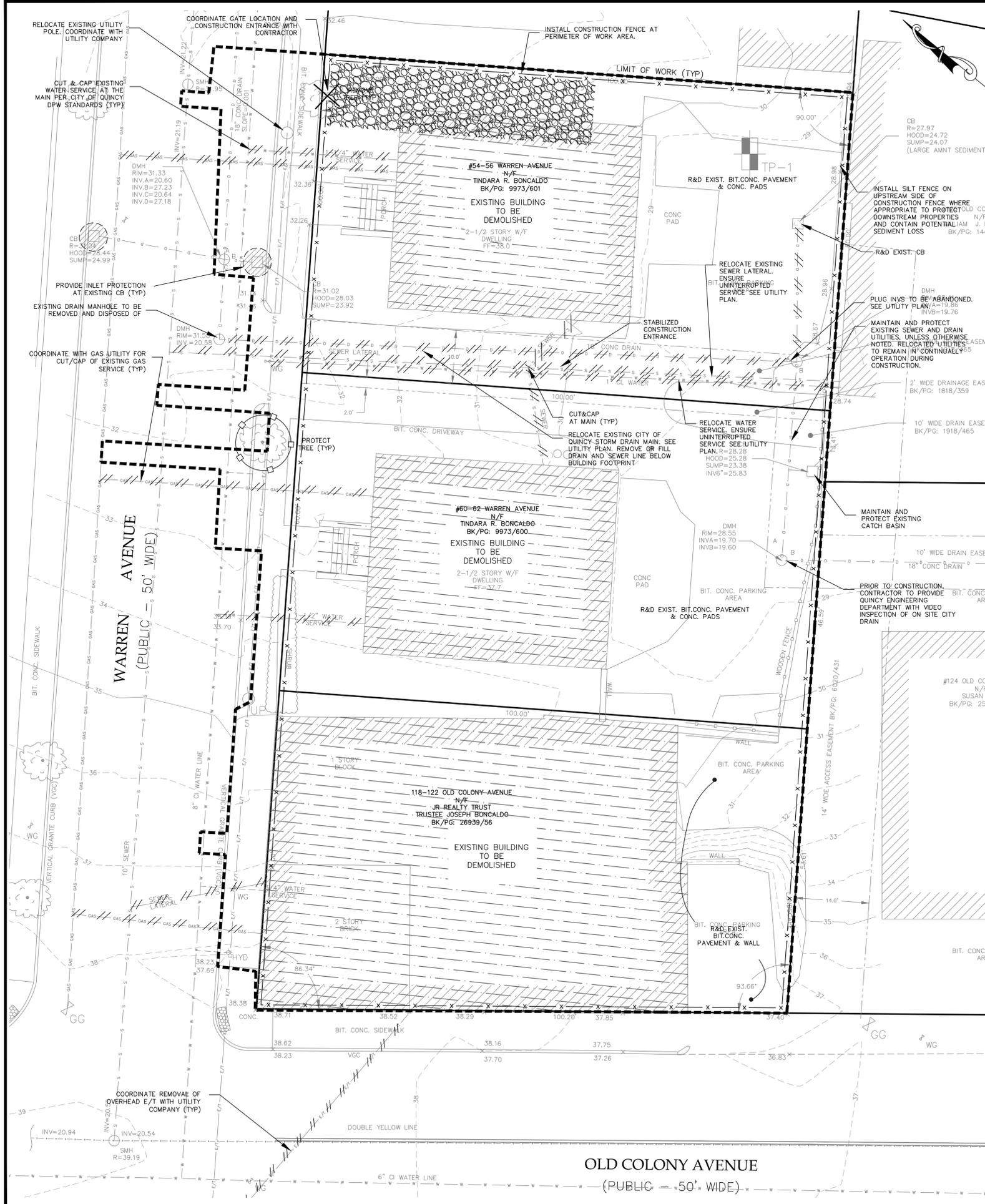


LEGEND

— W —	EX. WATER	⊗	WATER VALVE
— S —	EX. SEWER	⊕	HYDRANT
— D —	EX. DRAIN	⊙	SEWER MANHOLE
— E —	EX. ELECT	⊙	TELEPHONE MANHOLE
— T —	EX. TEL	⊙	EX. CATCH BASIN
— G —	EX. GAS	⊙	EX. HANDHOLE
⊙	EX. LIGHT POLE	⊙	EX. UTILITY POLE
⊙	DMH	⊙	FLUSH GRANITE CURB
⊙	EMH	⊙	CONCRETE RETAINING WALL
⊙	VGC		
⊙	FCG		
⊙	CRTW		

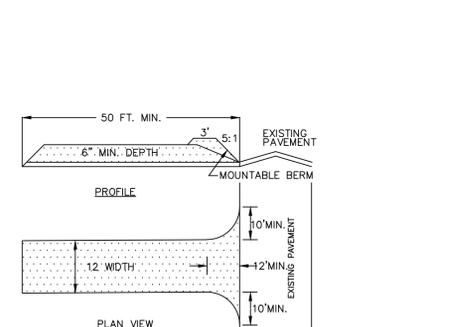
SHEET TITLE:
EXISTING CONDITIONS

DRAWING NO.
EX-1



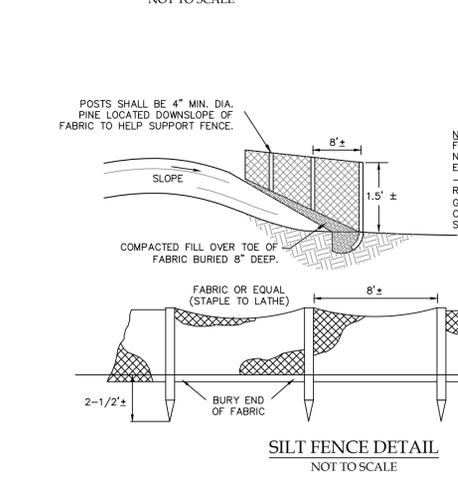
SITE PREPARATION & EROSION CONTROL NOTES

- CONTRACTOR SHALL CLEAR THE PERIMETER OF THE CONSTRUCTION AREA AND PLACE EROSION CONTROL MEASURES PRIOR TO COMMENCING WORK. EROSION CONTROL DEVICES TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED. CRUSHED STONE STABILIZATION PAD TO BE PLACED AT THE CONSTRUCTION ENTRANCE. IF BUILDING AND SITE WORK TO BE PHASED, CLEARING LIMITS SHOULD NOT EXCEED AREA NECESSARY TO CONSTRUCT EACH PHASE OF CONSTRUCTION.
- AS EARTHWORK IS IN PROGRESS EROSION CONTROL DEVICES SHALL BE INSTALLED AS SLOPES ARE DISTURBED OR CREATED. SLOPES SHALL BE STABILIZED AS SOON AS WORK ON THEM IS COMPLETED. SLOPES AT 3:1 OR GREATER SHALL BE TRACKED AND SEEDED. SLOPES SHALL BE SEED AS SOON AS POSSIBLE AFTER COMPLETION OF WORK.
- IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS BEEN TEMPORARILY OR PERMANENTLY CEASED, TEMPORARY OR PERMANENT SOIL STABILIZATION MEASURES SHALL BE INSTALLED AND/OR IMPLEMENTED WITHIN 7 DAYS FROM THE DATE THE SOIL DISTURBANCE ACTIVITY CEASED AS PER THE NPDES CONSTRUCTION GENERAL PERMIT.
- UPON COMPLETION OF THE EARTHWORK, THE CONTRACTOR SHALL PROCEED WITH THE INSTALLATION OF ALL UNDERGROUND UTILITIES AND PLACE SILT SACKS IN NEW INLETS AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCY PRIOR TO MAKING CONNECTION OR ALTERING ANY EXISTING UTILITIES.
- DURING CONSTRUCTION, THE CONTRACTOR WILL BE RESPONSIBLE FOR REPLACING ANY SILT FENCING, CHECK DAMS OR CATCH BASIN/YARD INLET PROTECTIONS WHICH BECOME CLOGGED, IMPERFORABLE OR DAMAGED. SILT FENCE SHALL BE INSPECTED AFTER RAINFALL EVENTS. ALL EROSION AND SILTATION CONTROLS INCLUDING SILT FENCING, CHECK DAMS, INLET PROTECTION AND DESILTATION SINKS WILL BE INSPECTED AFTER A STORM EVENT AND REQUIRED REPAIRS WILL BE MADE IMMEDIATELY.
- CRUSHED STONE PAD SHALL BE INSTALLED AT CONSTRUCTION ENTRANCE TO PROVIDE A STABILIZED ENTRANCE POINT. (SEE DETAIL)
- ANY SILT OR SEDIMENT ACCUMULATED IN EXISTING SWALES, STORM SEWERS, STREET AND/OR GUTTERS SHALL BE CLEANED OUT DURING CONSTRUCTION.



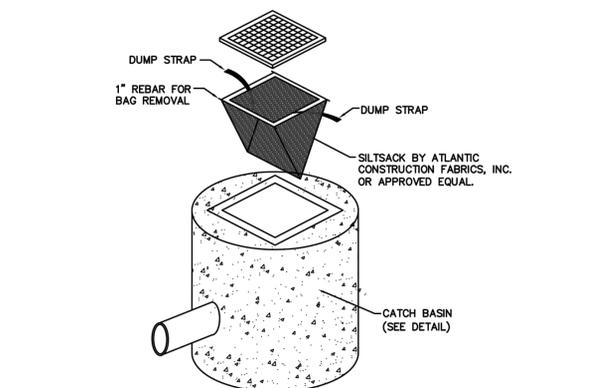
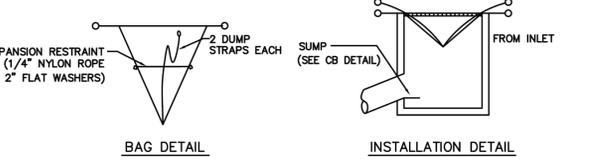
- STONE SIZE - USE #2 STONE
- THICKNESS - NOT LESS THAN 6 (SIX) INCHES.
- WIDTH - FULL ENTRANCE WIDTH
- USE FILTER FABRIC UNDER STONE FOR ENTRANCE STABILITY.
- MAINTENANCE - THE CONTRACTOR SHALL MAINTAIN THE ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING OR SEDIMENT FLOW ONTO A PUBLIC ROADWAY.
- WHEN ROADWAY WASHING IS REQUIRED, IT SHALL BE DONE IN A MANNER THAT DIRECTS SEDIMENT RUNOFF TOWARDS EROSION CONTROL DEVICES. INSTALL ADDITIONAL EROSION CONTROLS AS NEEDED.
- PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AFTER EACH RAINSTORM.

STABILIZED CONSTRUCTION ENTRANCE DETAILS



GENERAL NOTES

- TOPOGRAPHIC DATA, PROPERTY LINE INFORMATION, AND EXISTING SITE FEATURES WERE OBTAINED FROM A PLAN PREPARED BY JOYCE CONSULTING GROUP, INC. DATED 09-30-14.
- THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, TO NATURAL GAS PIPELINE COMPANIES, AND MUNICIPAL UTILITY DEPARTMENTS THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. THE CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-DIG-SAFE.
- ALL UTILITY CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY, THE CITY OF QUINCY. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SEE THAT ALL PERMITS AND APPROVALS ARE OBTAINED BEFORE STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS FOR AND FOR PERFORMING ANY NECESSARY WORK INVOLVED IN CONNECTION WITH THE DISCONTINUANCE OF ANY UTILITIES OR WITHIN THE JURISDICTION OF ANY UTILITY COMPANIES, SUCH AS ELECTRICITY, TELEPHONE, WATER, GAS, AND ANY SYSTEM OR SYSTEMS WHICH WILL BE AFFECTED BY THE WORK TO BE PERFORMED UNDER THIS CONTRACT. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, DEPARTMENTS, AND UTILITY COMPANIES, IN WRITING, AT LEAST 48 HOURS AND NOT MORE THAN 30 DAYS PRIOR TO ANY CONSTRUCTION. CONSTRUCTION SHALL NOT INTERFERE WITH OR INTERRUPT UTILITIES WHICH ARE TO REMAIN IN OPERATION.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, REGULATIONS AND SAFETY CODES IN THE CONSTRUCTION OF ALL IMPROVEMENTS.
- THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT ALL WALKS, GRADING, SIDEWALKS AND SITE DETAILS OUTSIDE OF THE LIMITS OF REGRADING AND WORK AS SHOWN ON THE DRAWINGS AND SHALL REPAIR AND REPLACE OR OTHERWISE MAKE GOOD AS DIRECTED BY THE ENGINEER OR OWNER'S DESIGNATED REPRESENTATIVE ANY SUCH OR OTHER DAMAGE SO CAUSED. CONTRACTOR SHALL ENSURE ADEQUATE ACCESS TO NEWBURY STREET RIGHT WAY AND ACCESS POINTS FOR ABUTTERS AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL RUBBISH AND DEBRIS FOUND THEREON. STORAGE OF SUCH MATERIALS ON THE PROJECT SITE WILL NOT BE PERMITTED. THE CONTRACTOR SHALL LEAVE THE SITE IN SAFE, CLEAN, AND LEVEL CONDITION UPON COMPLETION OF THE SITE CLEARANCE WORK.
- THE CONTRACTOR SHALL REMOVE FROM THE AREA OF CONSTRUCTION PAVEMENT, CONCRETE, GRANITE CURBING, CEMENT CURBING, POLES AND FOUNDATIONS, ISLANDS, TREE BERMS AND OTHER FEATURES WITHIN THE LIMITS OF CONSTRUCTION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION WHETHER SPECIFIED ON THE DRAWINGS OR NOT.
- FOR SITE MATERIALS, PLANTING MATERIALS AND LOAM, GROUND COVER, AND DETAILS SEE LANDSCAPE ARCHITECT'S DRAWINGS AND SPECIFICATIONS.
- ALL WATER, SEWER, AND DRAIN WORK SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS AND STANDARD SPECIFICATIONS OF THE CITY OF QUINCY.
- ELEVATIONS REFER TO CITY OF QUINCY DATUM.
- GAS, TELEPHONE, ELECTRIC, AND CABLE SERVICES ARE TO BE DESIGNED BY EACH UTILITY COMPANY IN COORDINATION WITH THE MECHANICAL AND PLUMBING CONSULTANTS. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND DESIGN OF NEW UTILITIES WITH ELECTRIC, CABLE TELEVISION AND TELECOMMUNICATION UTILITIES.
- UTILITY STRUCTURES TO BE ABANDONED SHALL BE REMOVED TO A DEPTH OF NO LESS THAN 3 FEET BELOW FINISHED GRADE. THE BOTTOMS OF THE STRUCTURES SHALL BE BROKEN AND THE STRUCTURES SHALL BE BACKFILLED WITH GRAVEL BORROW AND COMPACTED.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED OR REMOVED & DISPOSED.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR TRENCHING, BACKFILLING, AND SURFACE RESTORATION FOR THE GAS LINE INSTALLATION.
- ALL GRATES IN WALKWAYS SHALL BE ADA COMPLIANT.
- ALL TRAFFIC SHALL ACCESS THE SITE FROM OLD COLONY AVENUE VIA BEALE STREET FOR THE DURATION OF CONSTRUCTION.



NOTE:
1. SILTSACKS SHALL BE INSTALLED IN ALL CATCH BASIN UNTIL DRAINAGE AREA HAS BEEN FULLY STABILIZED.



SCALE: 1" = 10'

0' 5' 10' 20' 30'

LEGEND

W	EX. WATER	W	WATER VALVE
S	EX. SEWER	H	HYDRANT
D	EX. DRAIN	SM	SEWER MANHOLE
E	EX. ELECT	TM	TELEPHONE MANHOLE
T	EX. TEL	CB	EX. CATCH BASIN
G	EX. GAS	UP	UP. UTILITY POLE
LP	EX. LIGHT POLE	EMH	EX. ELECTRIC MANHOLE
DMH	EX. DRAIN MANHOLE	VGC	VERTICAL GRANITE CURB
EMH	EX. ELECTRIC MANHOLE	FCG	FLUSH GRANITE CURB
VGC	VERTICAL GRANITE CURB	CRW	CONCRETE RETAINING WALL
FCG	FLUSH GRANITE CURB	E	EROSION CONTROL
CRW	CONCRETE RETAINING WALL	L	LIMIT OF WORK

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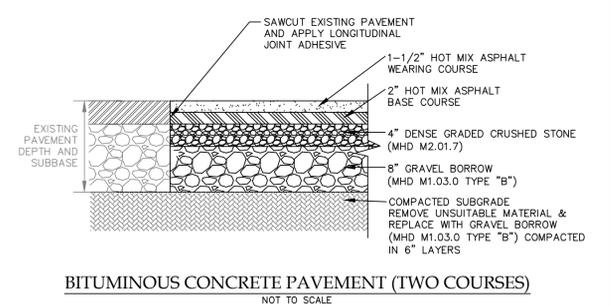
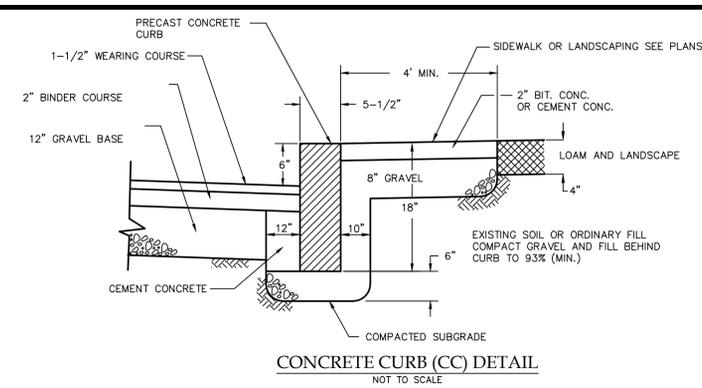
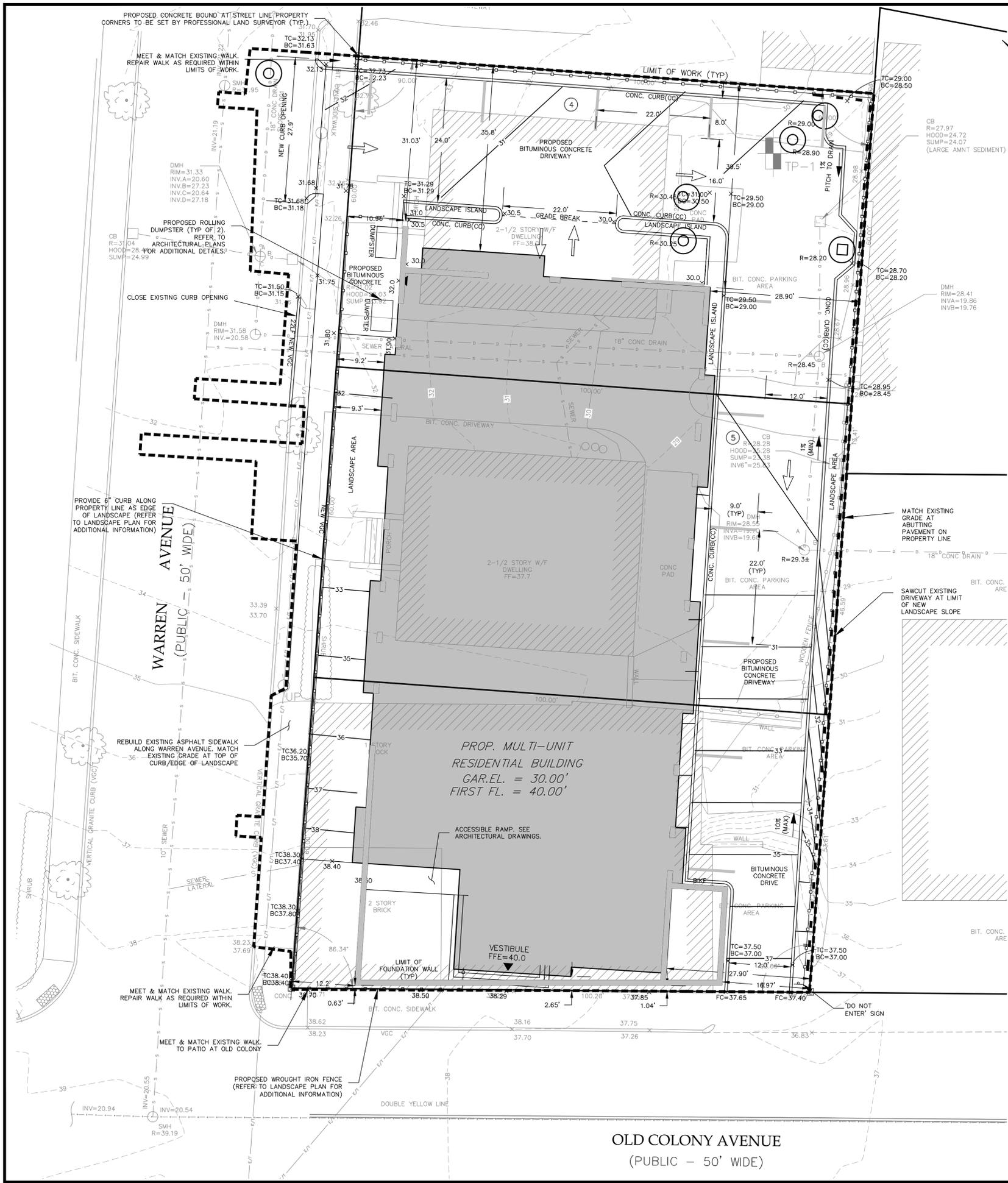
PHILIP BONCALDO
118 OLD COLONY, 54-56
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& 60-62 WARREN AVE.
QUINCY, MA

REVISIONS

DATE	BY	REVISION
09/09/15	EVJ	ZBA/PB COMMENTS
08/11/15	MGJ	REVIEW COMMENTS
08/05/15	MGJ	OWNER REVISION
07/10/15	MGJ	REVIEW COMMENTS
		REVISED

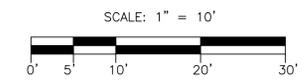
SHEET TITLE: SITE PREP PLAN

DRAWING NO. C-0



GENERAL GRADING NOTES

1. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF ONE-EIGHTH INCH (1/8") PER FOOT.
2. WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING.
3. UNDERGROUND UTILITIES SHOWN AS APPROXIMATE ONLY.
4. PROVIDE POSITIVE DRAINAGE AWAY FROM FACE OF BUILDINGS AT ALL LOCATIONS.
5. ALL PROPOSED TOP OF CURB ELEVATIONS ARE SIX INCHES (6") ABOVE BOTTOM OF CURB ELEVATIONS UNLESS SHOWN OTHERWISE.
6. THE GENERAL CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING EARTHWORK.
7. ALL POINTS OF CONSTRUCTION EGRESS AND/OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.
8. THE CONTRACTOR SHALL VERIFY ALL EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT/ENGINEER PRIOR TO STARTING WORK.
9. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE GENERAL CONTRACTOR AND SHARED WITH THE ARCHITECT AND ENGINEER AS REQUIRED.
10. SURPLUS MATERIALS SHALL NOT BE REMOVED FROM THE SITE UNLESS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
11. ANY AREAS OUTSIDE OF THE LIMIT-OF-WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
12. FURNISH AND INSTALL 3" OF SCREENED LOAM AND HYDROSEED IN ALL DISTURBED AREAS.



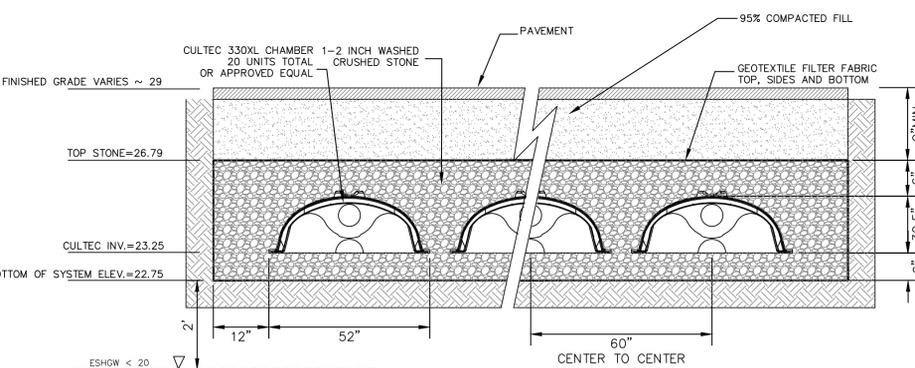
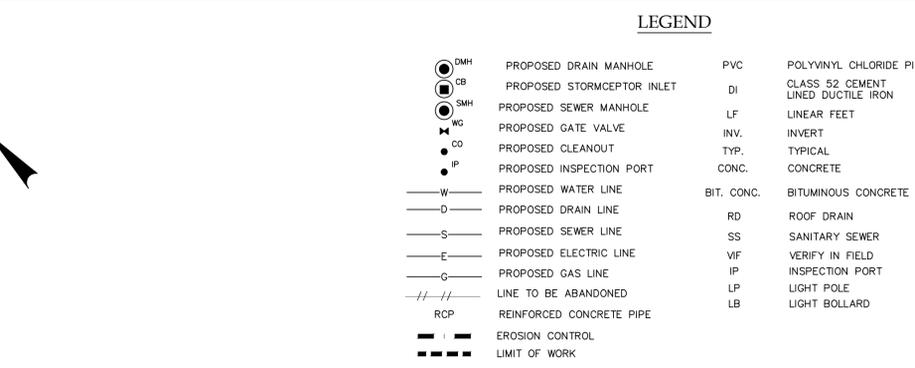
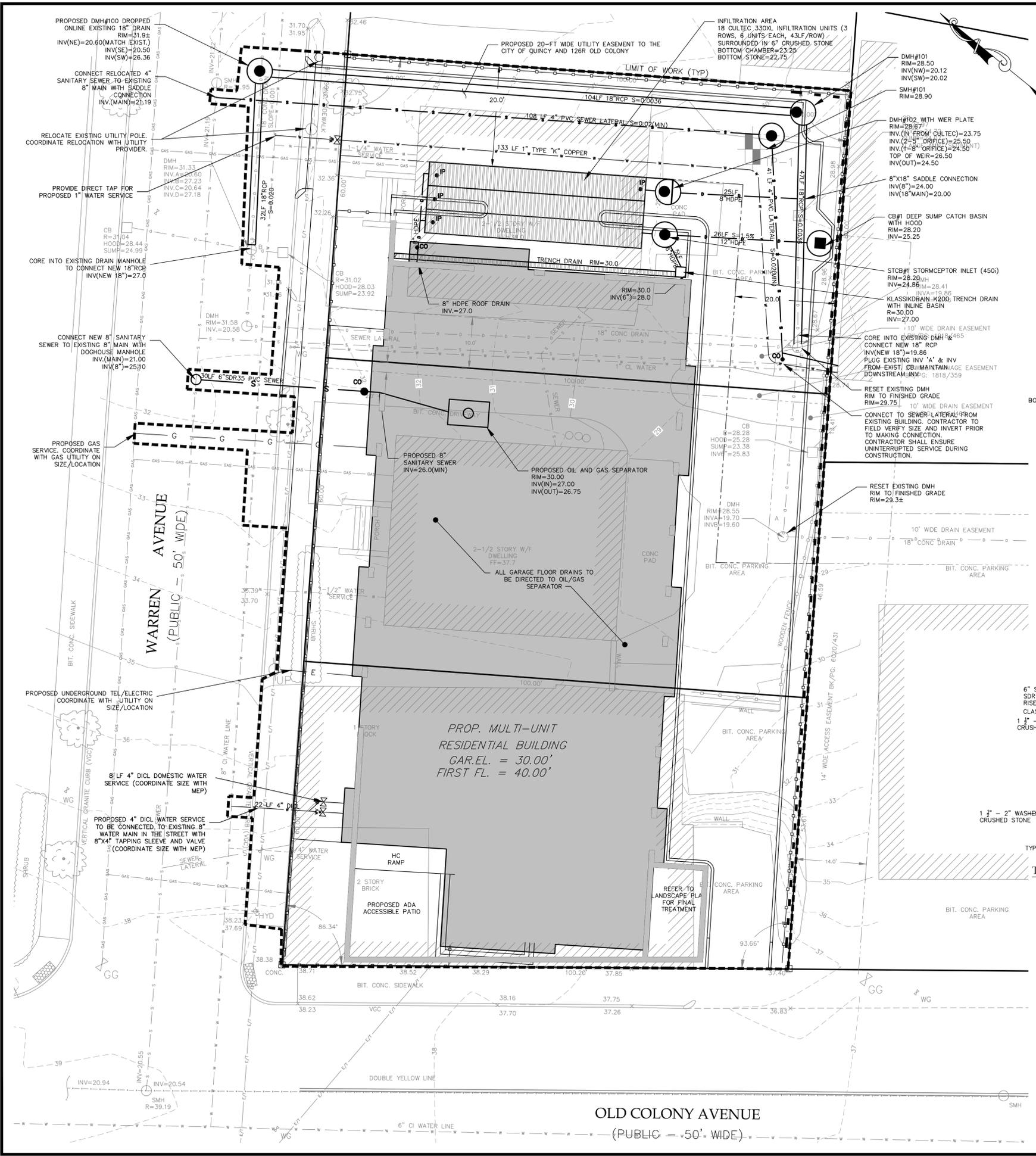
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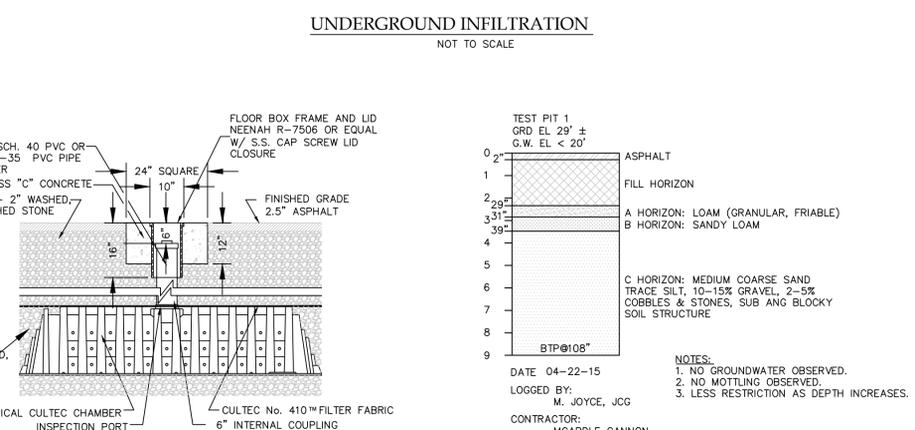
CLIENT: PHILIP BONCALDO
 118 OLD COLONY, 54-56
 WARREN AVE.
 & 60-62 WARREN AVE.
 QUINCY, MA

DATE: 05/20/15
 CHECKED BY: MJG
 ZBA/PS COMMENTS: 09/09/15
 REVIEW COMMENTS: 08/11/15
 OWNER REVISION: 08/05/15
 REVIEW COMMENTS: 07/10/15
 REVISED: DATE

SHEET TITLE: **SITE GRADING & LAYOUT**
 DRAWING NO. **C-1**



- NOTES:**
- THE 330XL CHAMBERS WILL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT (203-775-4416).
 - CONTACT CULTEC, INC. FOR SUBMITTAL PACKAGES AND TO PURCHASE PRODUCT.
 - REFER TO MANUFACTURER FOR RECOMMENDED INSTALLATION GUIDELINES.
 - CHAMBERS SHALL BE DESIGNED TO WITHSTAND ASHTO H20 LOAD RATING (32,000 LBS/AXLE) WHEN INSTALLED.
 - UNITS WILL HAVE A RAISED INTEGRAL CAP A TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
 - ALL RECHARGE BASINS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 - ALL STONE AGGREGATE USED IN CONSTRUCTION OF THE RECHARGE BASIN SHALL BE 1 1/2" TO 2" NOMINAL DIAMETER AND DOUBLE WASHED. USING CRUSHED STONE IS NOT PERMITTED.
 - THE DRAINAGE SYSTEMS SHALL BE INSTALLED IN WELL DRAINING SOIL MATERIALS. ANY DELETERIOUS MATERIAL BELOW OR AROUND THE DRAINAGE STRUCTURES SHALL BE REMOVED. IF DELETERIOUS MATERIAL IS ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER.

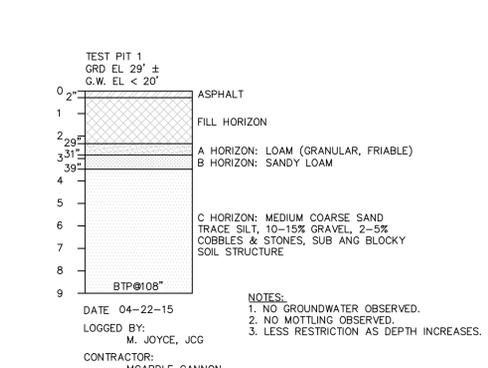


TYPICAL H2O INSPECTION PORT DETAIL
N.T.S.

UTILITY CONSTRUCTION NOTES

- WATER MAIN SHALL BE 4" DI. CLASS 52 PIPE. ALL WATER MAIN FITTINGS, VALVES AND GATES SHALL MEET THE CITY OF QUINCY WATER DEPARTMENT STANDARDS.
- MINIMUM COVER OVER THE WATER MAIN AND SERVICES SHALL BE FIVE (5) FEET.
- SANITARY SEWER GRAVITY PIPE SHALL BE 6" PVC, SDR 35 AND SHALL MEET THE CITY OF QUINCY SEWER DEPT. STANDARDS.
- WATER MAIN BENDS, TEES, AND PLUGS SHALL HAVE A CONCRETE THRUST BLOCKS AS SPECIFIED IN THE DETAIL SHEET.
- ALL CONSTRUCTIONS TO MEET CITY OF QUINCY STANDARDS.
- GAS, TELEPHONE, CABLE, ELECTRICITY TO BE DESIGNED BY THE INDIVIDUAL UTILITY COMPANY.
- MAINTAIN 10 FEET HORIZONTAL SEPARATION BETWEEN SEWER AND WATER LINES. ENCASE BOTH UTILITIES WITH CONCRETE IF 10 FEET SEPARATION CANNOT BE MAINTAINED. WHEREVER THERE IS LESS THAN 10 FEET OF HORIZONTAL SEPARATION AND 18" OF VERTICAL SEPARATION BETWEEN A PROPOSED OR EXISTING SEWER LINE TO REMAIN AND A PROPOSED OR EXISTING WATER LINE TO REMAIN, BOTH UTILITIES SHALL BE ENCASED IN CONCRETE.
- PROPOSED CLEANOUTS WILL BE CONSTRUCTED OF TWO 22.5 DEGREE ELBOWS AND ONE 45 DEGREE ELBOW.

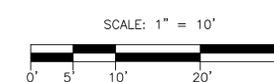
UNDERGROUND INFILTRATION
NOT TO SCALE



EXPLORATORY TEST-PIT LOGS
NOT TO SCALE

NOTES:

- THE PARCEL IS PARTIALLY LOCATED IN ZONES INDUSTRIAL B & RESIDENCE B
- TOPOGRAPHIC DETAIL, NATURAL AND MAN MADE SURFACE FEATURES ARE BASED ON ACTUAL SURVEY BY JOYCE CONSULTING GROUP, INC. ELEVATIONS SHOWN ON THIS PLAN ARE BASED ON THE CITY OF QUINCY DATUM.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILED PLANS OF RECORD. JCG DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES BY CONTACTING LOCAL UTILITY DEPARTMENT AND DIG SAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE SITE IS LOCATED IN FLOOD ZONE "X" AS DELINEATED ON THE FLOOD HAZARD COMMUNITY PANEL No. 25021C0069F, DATED JUNE 9, 2014.



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& 60-62 WARREN AVE.
QUINCY, MA

DATE: 04-22-15
LOGGED BY: M. JOYCE, JCG
CONTRACTOR: MCARDLE GANNON

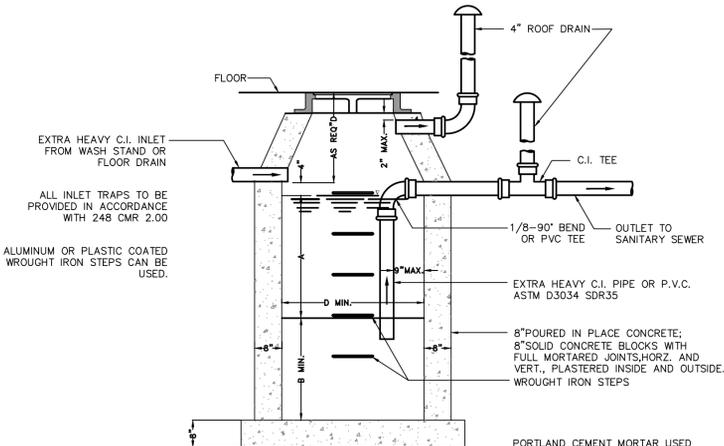
DATE: 05/20/15
CHECKED BY: MGJ

ZBA/PB COMMENTS	09/09/15
REVIEW COMMENTS	08/11/15
OWNER REVISION	08/05/15
REVIEW COMMENTS	07/10/15
REVISED	DATE

SHEET TITLE:
SITE UTILITY PLAN

DRAWING NO.
C-2

INLET	D	A	B	INLET	D	A	B
4"	3'-6"	3'-0"	2'-6"	8"	5'-0"	6'-0"	5'-0"
5"	3'-6"	3'-0"	4'-0"	8"	5'-6"	5'-6"	4'-0"
	3'-6"	3'-6"	4'-0"	8"	6'-0"	4'-0"	3'-6"
	3'-6"	3'-6"	3'-0"	8"	6'-0"	3'-0"	2'-6"
	3'-6"	3'-6"	3'-0"	8"	6'-6"	3'-6"	3'-0"
	3'-6"	3'-6"	2'-6"	8"	6'-6"	3'-0"	2'-6"
6"	4'-0"	3'-0"	4'-6"	10"	5'-6"	7'-6"	6'-6"
	4'-0"	4'-0"	3'-6"	10"	6'-0"	5'-6"	4'-6"
	4'-0"	4'-0"	3'-6"	10"	6'-0"	6'-6"	5'-6"
	4'-0"	4'-0"	3'-0"	10"	6'-6"	6'-6"	4'-0"

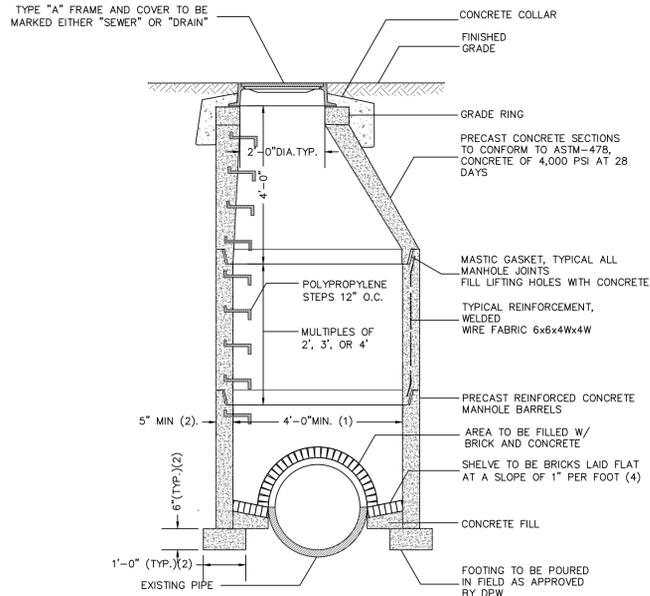


NOTES: FOR INLETS LARGER THAN 10" THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE. PRE-CAST SEPARATORS ARE TO HAVE ALL SPECIFIED HOLES EITHER CORE-BORED OR CAST IN PLACE.

PORTLAND CEMENT MORTAR USED SHALL CONSIST OF 1 PART CEMENT, 2 PARTS SAND.

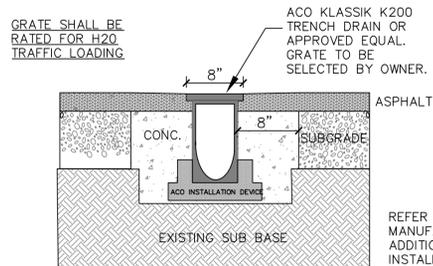
CEMENT BRICK/HOLLOW CONCRETE, OR CINDER BLOCK MASONRY MUST NOT BE USED.

OIL WATER SEPARATOR DETAIL
NOT TO SCALE

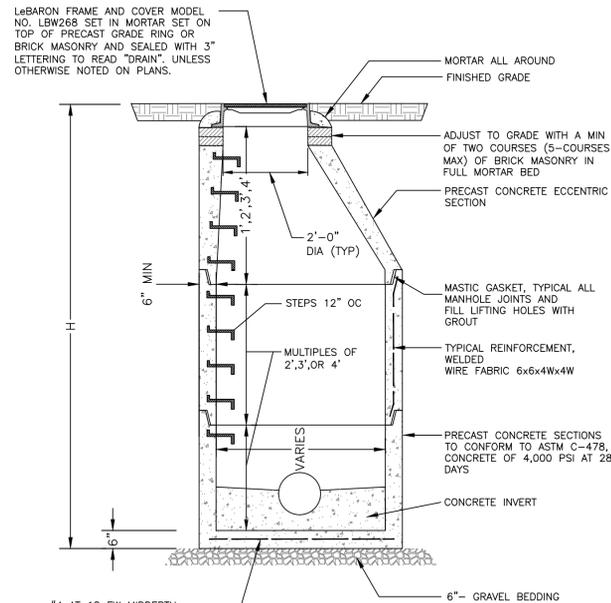


NOTES:
1. 5'-0" OR 6'-0" DIAMETER WHEN DEPTHS GREATER THAN 20 FEET OR WHEN ORDERED BY THE ENGINEER FOR PIPE SIZE.
2. 6" MIN. WALL THICKNESS, 5'-0" DIAMETER MANHOLES

SEWER DOGHOUSE DETAIL
NOT TO SCALE

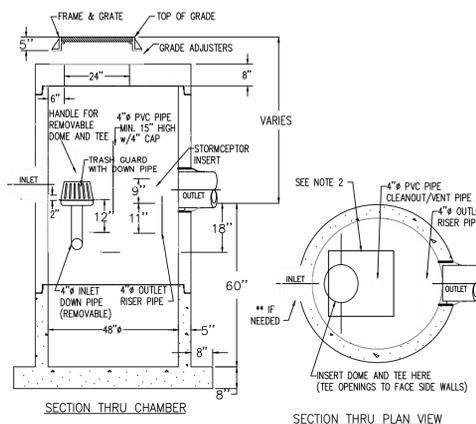


TRENCH DRAIN DETAIL
NOT TO SCALE



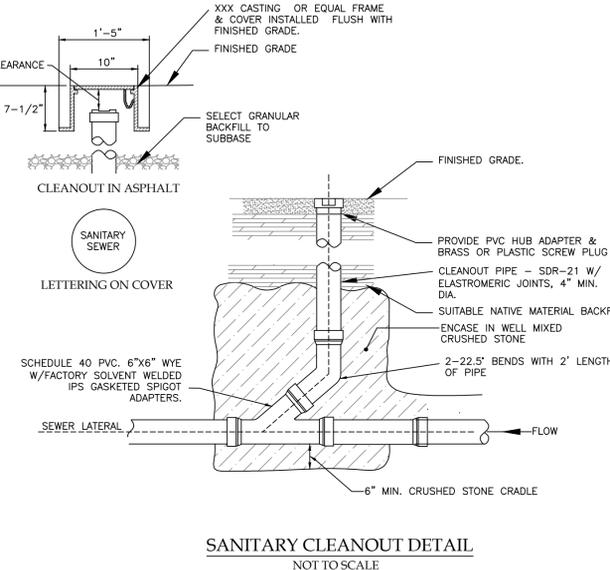
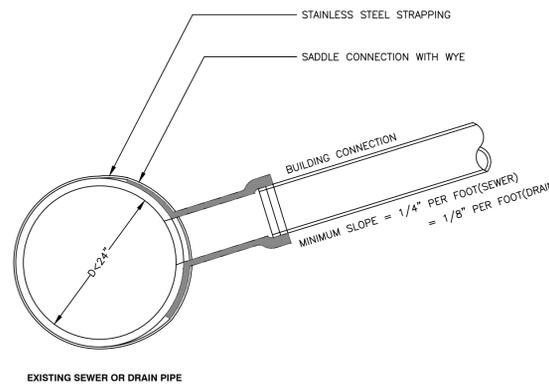
NOTES:
1. FOR MANHOLES WITH DIAMETERS GREATER THAN 4' THE WALL AND BASE THICKNESS SHALL BE PER PRECAST MANUFACTURER'S STANDARD STRUCTURE FOR THE INDICATED DIAMETER. IN ADDITION THE MANUFACTURER'S STANDARD REDUCER SECTION FOR EACH DIAMETER SHALL BE USED WHERE REQUIRED TO MEET 4' DIAMETER ECCENTRIC CONE.
2. PROVIDE RESILIENT CONNECTOR WHERE PIPE ENTERS MANHOLE.
3. DESIGN LIVE LOAD HS20-44.

STORMCEPTOR INLET (450i)
NOT TO SCALE



NOTES:
1. ALL METAL FIXTURES SHALL BE STAINLESS STEEL.
2. SERVICE LINE SHALL BE FLUSH WITH THE INSIDE OF THE MANHOLE.
3. FOR PROPOSED MANHOLE INSTALLATION AT EXISTING PIPE, CONTRACTOR SHALL EXTEND PIPE INTO NEW MANHOLE USING A SPOOL PIECE (OF SAME PIPE MATERIAL) WITH FERNCO COUPLES.

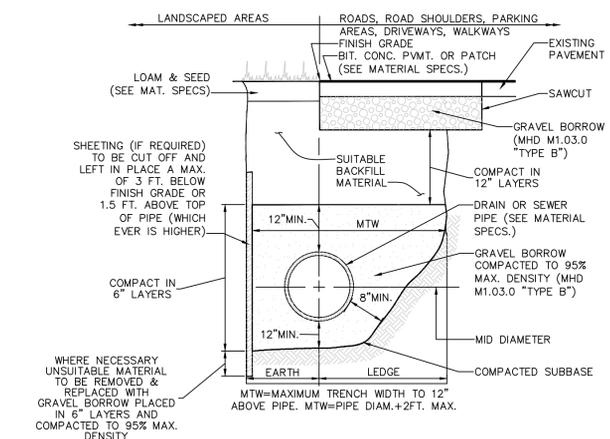
CONNECTION TO MANHOLE DETAIL
NOT TO SCALE



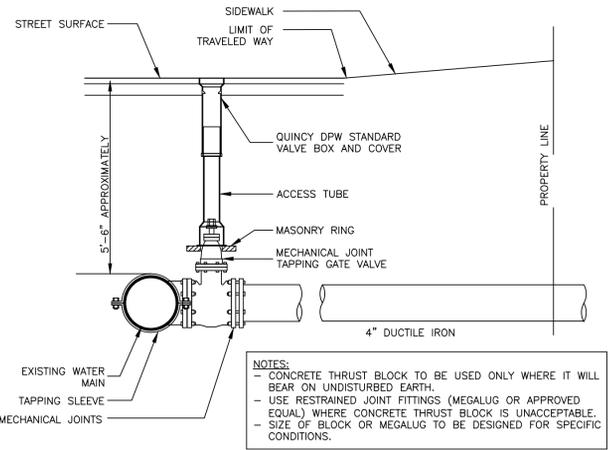
SANITARY CLEANOUT DETAIL
NOT TO SCALE

- NOTES:
1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE, OR IRON PIPE.
2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
3. FULL WYE CONNECTION FITTINGS MAY BE USED.
4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.

SEWER & DRAIN CONNECTION DETAIL
NOT TO SCALE



STANDARD TRENCH DETAIL FOR UTILITY PIPE
NOT TO SCALE



4\"/>

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PHILIP BONCALDO
118 OLD COLONY, 54-56
WARREN AVE.
& 60-62 WARREN AVE.
QUINCY, MA

CLIENT: PHILIP BONCALDO

DATE: 05/20/15

SCALE: AS NOTED

DRAWN BY: EVJ

CHECKED BY: MGJ

REVISIONS:

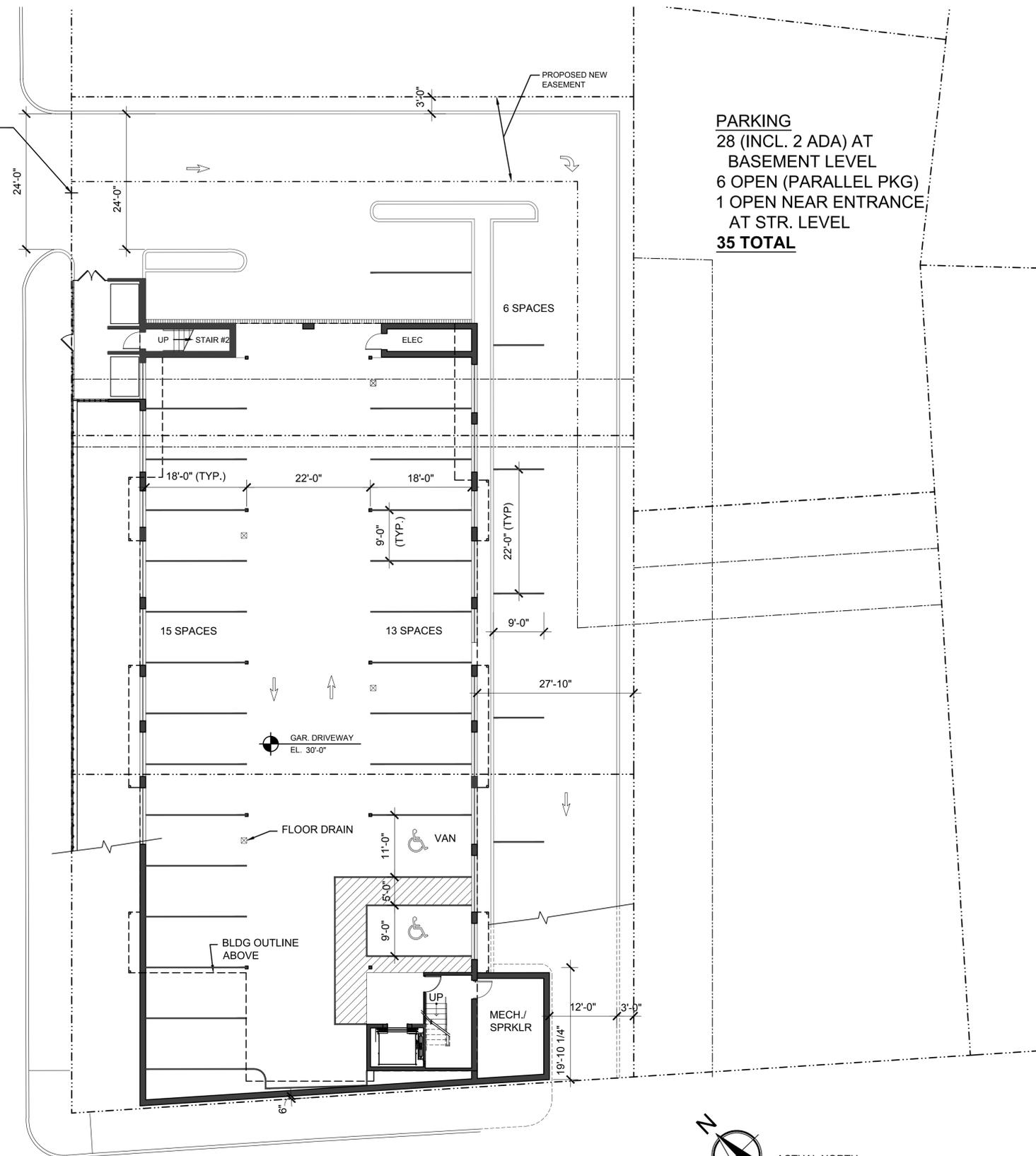
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1	09/09/15	2BA/PS COMMENTS
2	08/11/15	REVIEW COMMENTS
3	08/05/15	OWNER REVISION
4	07/10/15	REVIEW COMMENTS
5		REVISED

SHEET TITLE: **SITE DETAILS**

DRAWING NO.:

WARREN AVENUE
(PUBLIC - 50' WIDE)

GAR. ENTRY
EL. 32'-0"



PARKING
28 (INCL. 2 ADA) AT
BASEMENT LEVEL
6 OPEN (PARALLEL PKG)
1 OPEN NEAR ENTRANCE
AT STR. LEVEL
35 TOTAL

1 **PARKING LEVEL PLAN**
SCALE: 1/16" = 1'-0"

OLD COLONY AVENUE
(PUBLIC - 50' WIDE)



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SCALE: 3/32" = 1'-0"
DATE: 8/5/15
DRAWN BY: DK
CHECKED BY: DK

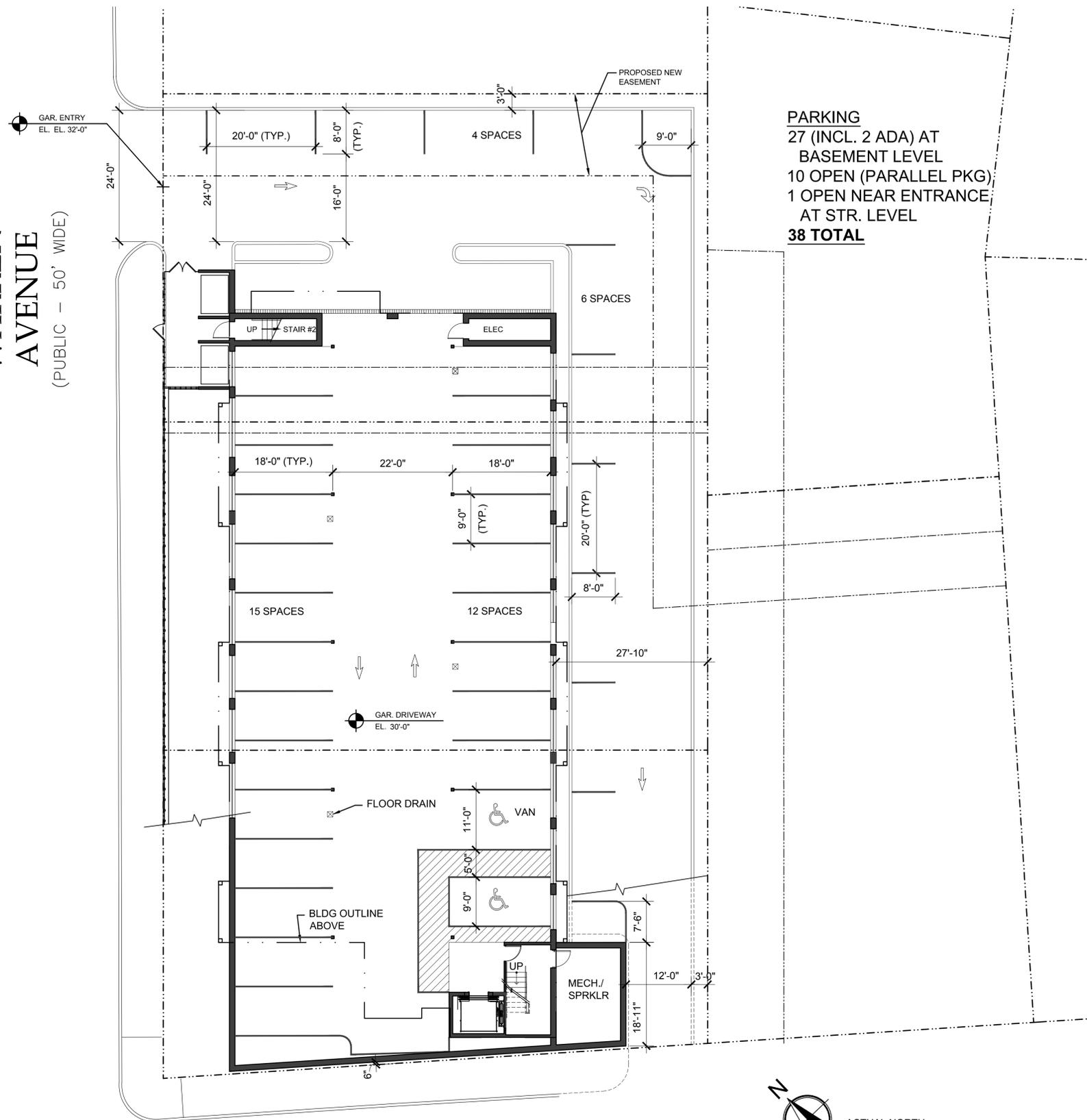
REVISED	DATE

SHEET TITLE:
PARKING LEVEL PLAN

DRAWING NO.

P-1

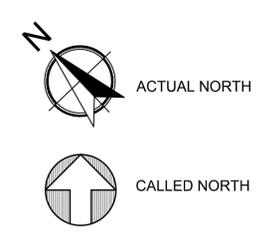
WARREN AVENUE
(PUBLIC - 50' WIDE)



PARKING
27 (INCL. 2 ADA) AT BASEMENT LEVEL
10 OPEN (PARALLEL PKG) AT STR. LEVEL
38 TOTAL

1 PARKING LEVEL PLAN (ALTERNATE)
SCALE: 1/16" = 1'-0"

OLD COLONY AVENUE
(PUBLIC - 50' WIDE)



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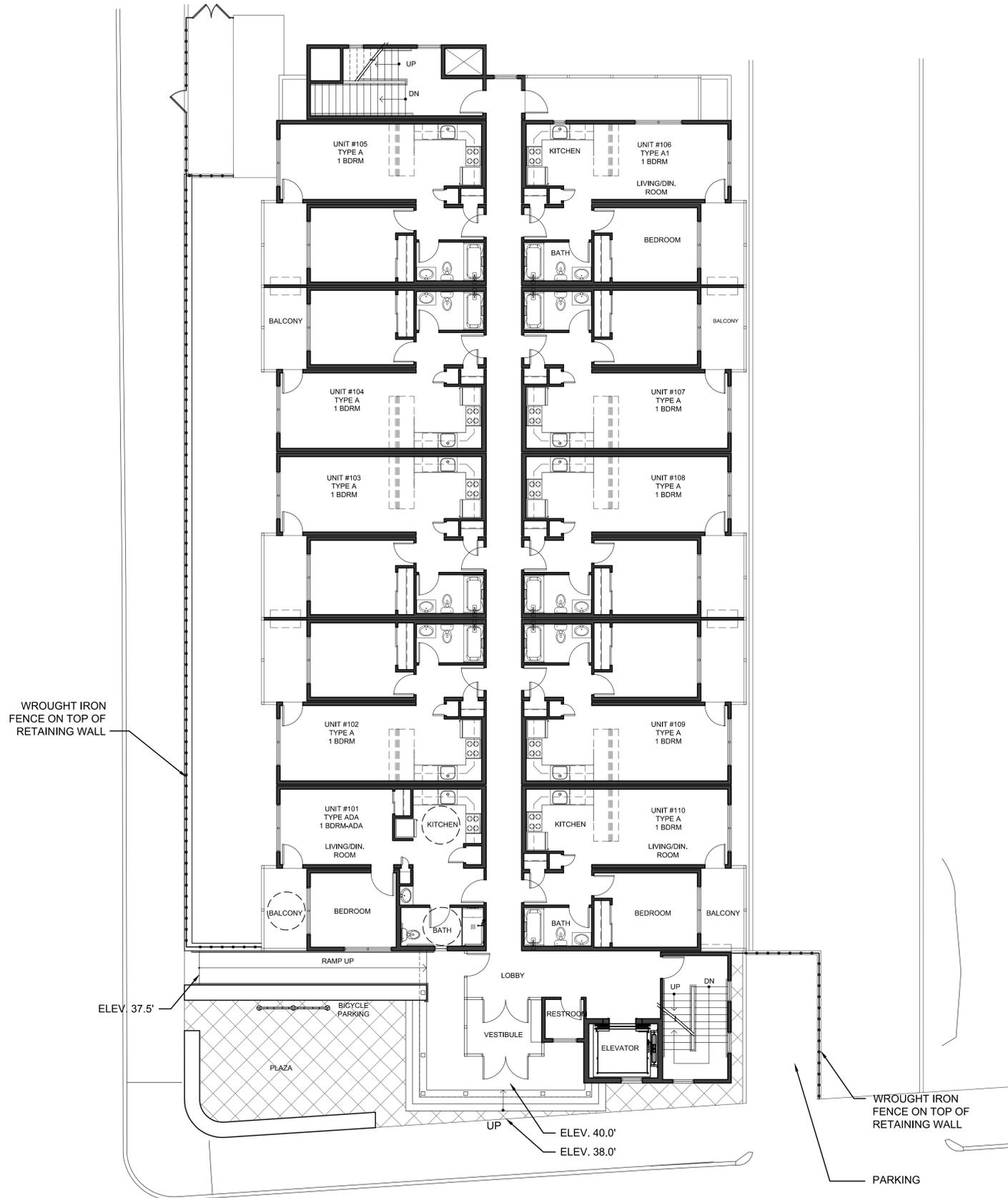
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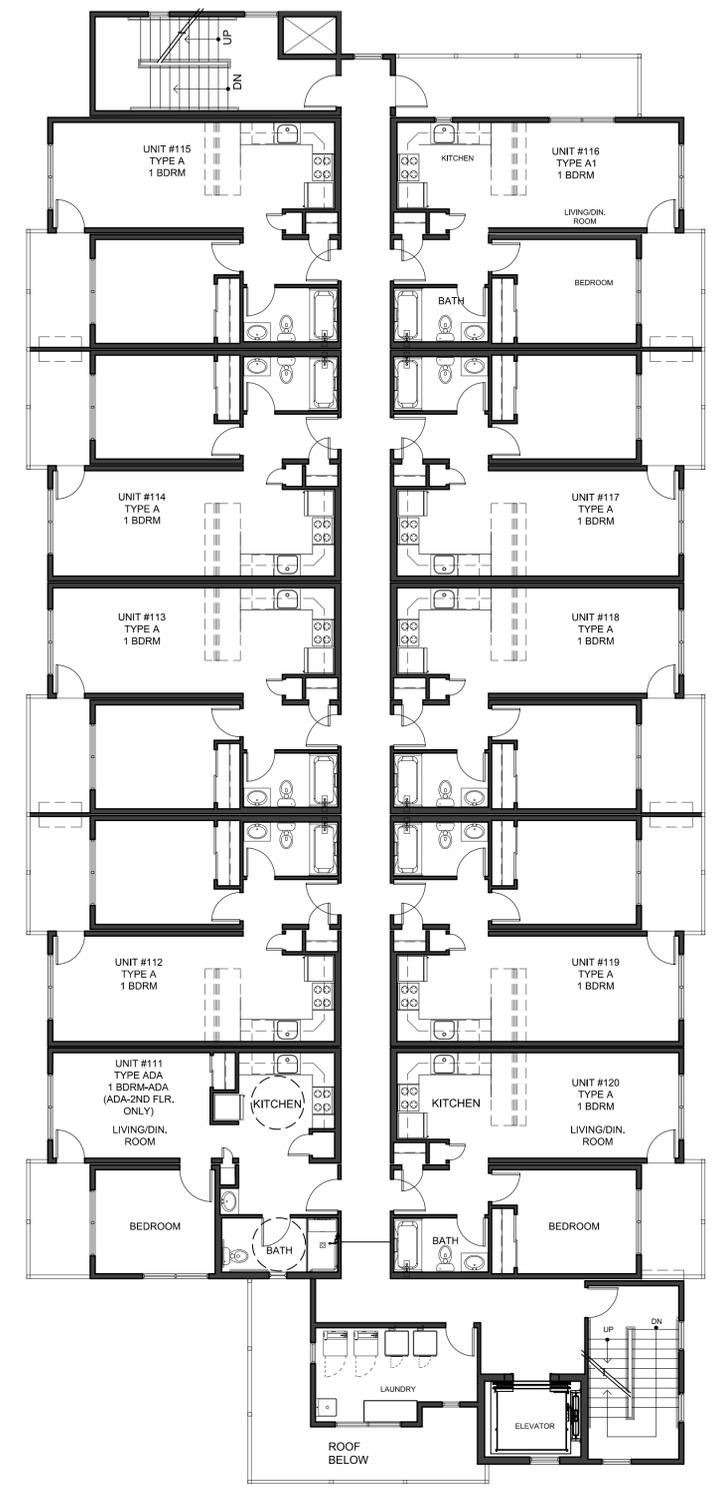
SCALE: 3/32" = 1'-0"	DRAWN BY:
DATE: 8/5/15	CHECKED BY: DK
REVISED:	DATE:
9/9/15	

SHEET TITLE:
PARKING LEVEL PLAN

DRAWING NO.
P-1A



1 FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



2 SECOND AND THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"

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CONSULTANT:

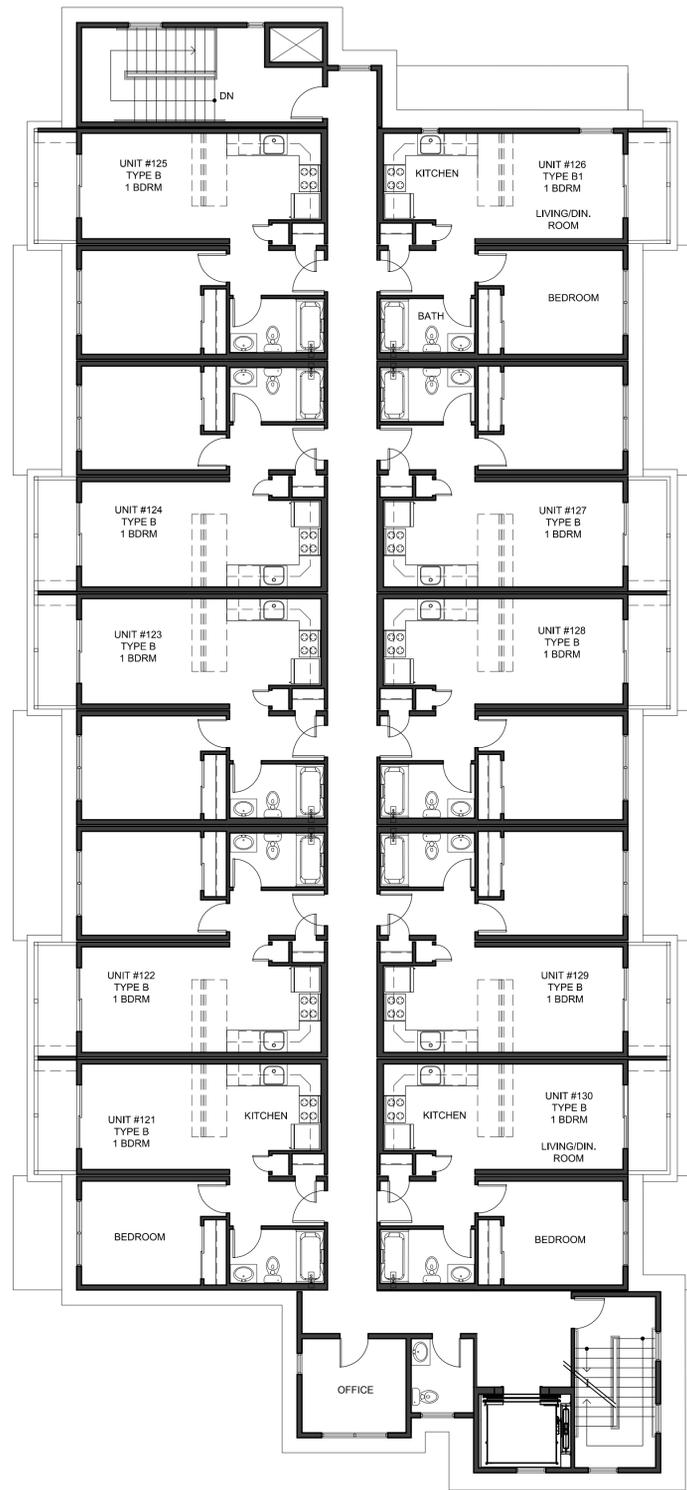
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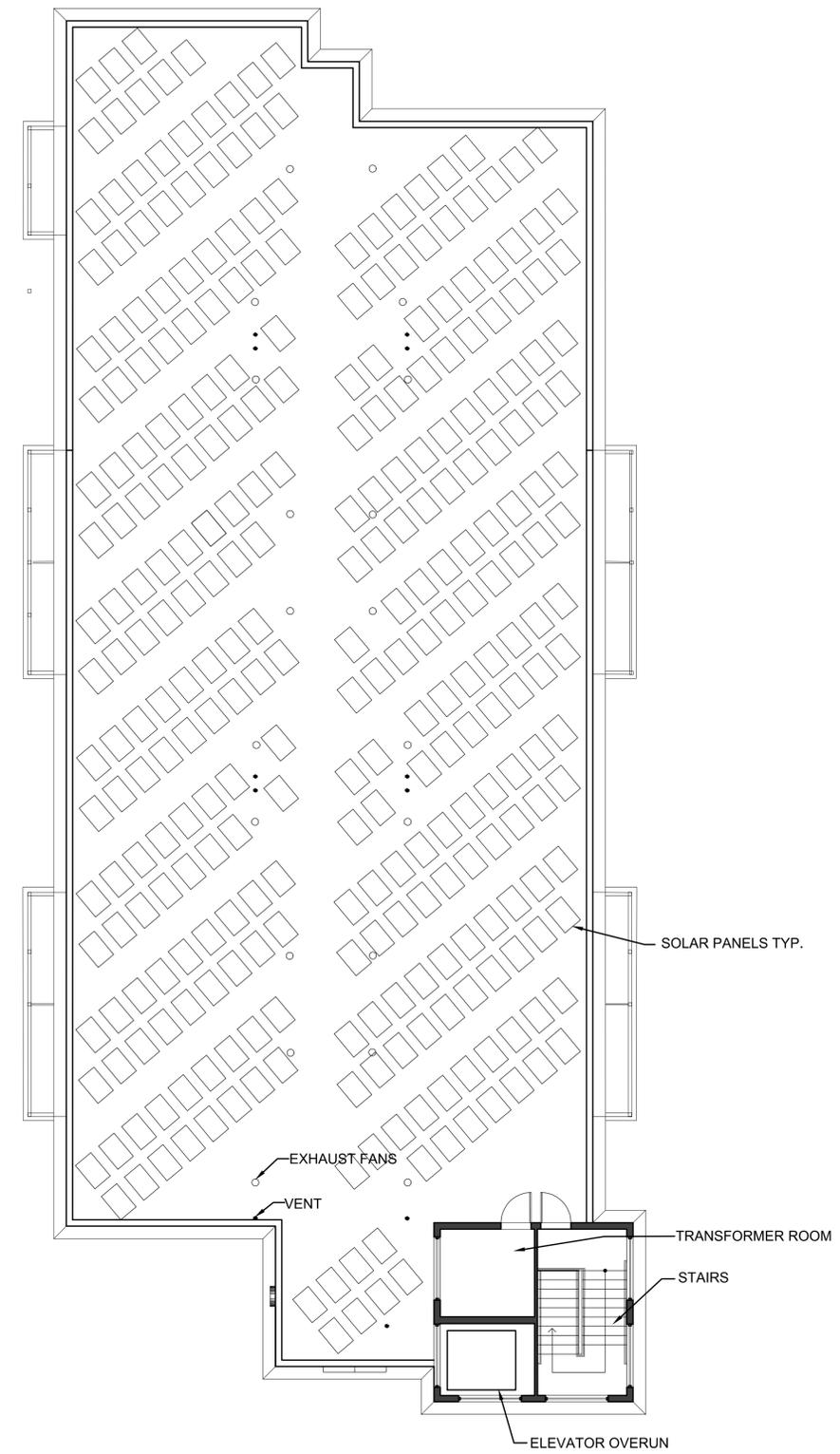
NO.	DATE	DESCRIPTION
1	9/9/15	

SHEET TITLE: FIRST, SECOND AND THIRD FLOOR PLANS

DRAWING NO. A-1.1



1 FOURTH FLOOR PLAN
SCALE: 1/8"=1'-0"



2 ROOF PLAN
SCALE: 1/8"=1'-0"

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SCALE:	DRAWN BY:
1/8"=1'-0"	DK
DATE:	CHECKED BY:
8/5/15	DK
REVISED:	DATE:
	9/9/15

SHEET TITLE:
FOURTH FLOOR AND ROOF PLAN

DRAWING NO.

A-1.2



1 OLD COLONY AVENUE ELEVATION
SCALE: 1/8"=1'-0"



2 EAST ELEVATION
SCALE: 1/8"=1'-0"

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	9/9/15

SHEET TITLE:
OLD COLONY AVE.
AND SOUTH
ELEVATIONS

DRAWING NO.

A-2.1



1 NORTH ELEVATION
SCALE: 1/8"=1'-0"



2 WARREN AVENUE ELEVATION
SCALE: 1/8"=1'-0"

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REVISED:	DATE:
9/9/15	

SHEET TITLE:
 NORTH AND WARREN AVE. ELEVATIONS

DRAWING NO.

A-2.2