

HOTEL REDEVELOPMENT PROJECT

1073 HANCOCK STREET QUINCY, MASSACHUSETTS

JANUARY 15, 2015

APPLICANT

JOHNNY OUYANG & BILL ZOU
HAOCHENG TRADING USA INC.
1073 HANCOCK STREET #302
QUINCY, MA 02169

ATTORNEY

ROBERT J. FLEMING JR.
FLEMING AND FLEMING P.C.
85 CLAY STREET
QUINCY, MA 02170

ARCHITECT

PAUL YU
PEOPLE ARCHITECTS
128 LINCOLN STREET, SUITE #110
BOSTON, MA 02111

CIVIL/SURVEY

DECELLE-BURKE & ASSOCIATES
1266 FURNACE BROOK PARKWAY
SUITE 401
QUINCY, MA 02169



LOCUS AERIAL
1" = 200'

IMAGE FROM 2014 GOOGLE MAPS

SHEETS

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 DEMOLITION AND MANAGEMENT
- 4 PROPOSED CONDITIONS
- 5 GRADING & UTILITIES
- 6 DETAILS

REVISIONS:		
No.	DATE	
1	5/15/15	PEER REVIEW



JOB NUMBER: 14.030



JAMES W. BURKE, PE DATE

- GENERAL NOTES:
- LOCUS: ASSESSORS MAP 1153 LOT 5 & 20A
 RECORD OWNER: HAOCHENG TRADING USA INC
 DEED REFERENCE: BOOK 30230 PAGE 232
 - THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY CLAUDIO SAA, PLS. REGISTERED LAND SURVEYOR 145 WHITWELL STREET QUINCY MA 02169. ELEVATIONS SHOWN ON NAVD-88 DATUM. PLAN TITLED: EXISTING CONDITIONS SITE PLAN 1073 HANCOCK STREET, LAND IN QUINCY MA, MARCH 18, 2013.
 - EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE, CHAPTER 82, SECTION 40B AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
 - THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ON FIRM 25021C-0069F.

PROJECT TITLE & LOCATION:

SITE PLAN
 1073 HANCOCK STREET
 QUINCY, MA 02169

PLAN TITLE:

EXISTING CONDITIONS

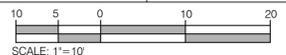
PREPARED FOR:

HAOCHENG TRADING USA INC
 1073 HANCOCK STR., #302
 QUINCY, MA 02170

DATE: JANUARY 15, 2015

REVISED: MAY 15, 2015

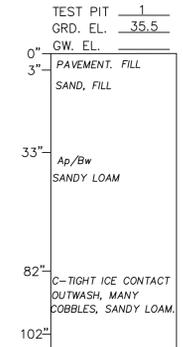
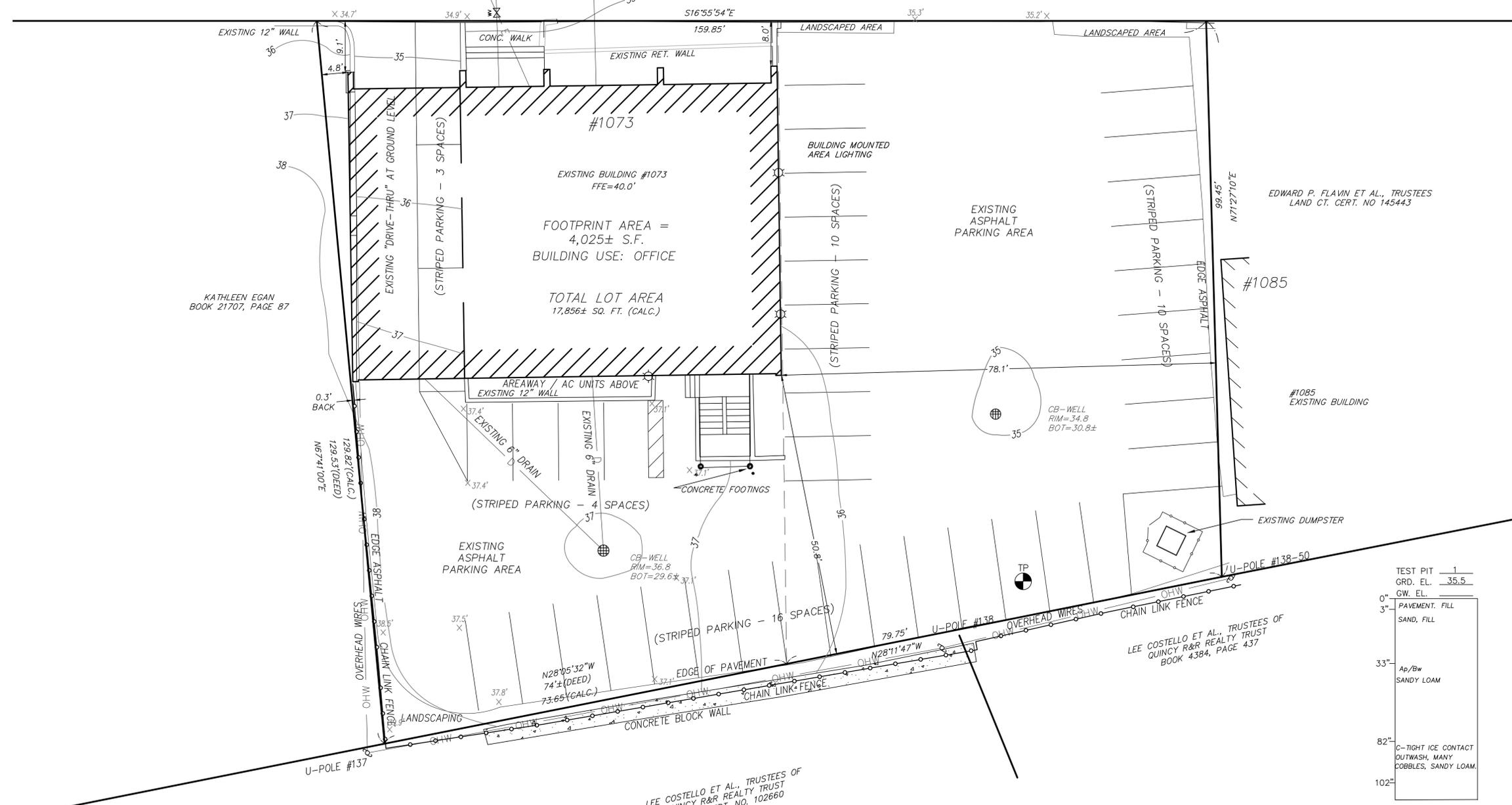
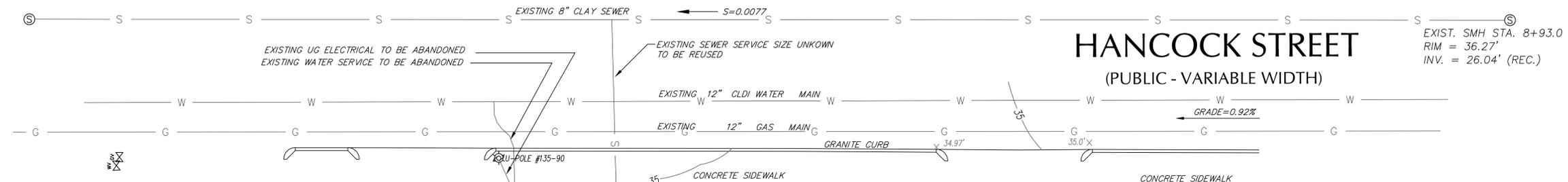
JOB NUMBER: 14.030 SHEET 2 OF 6



HANCOCK STREET

(PUBLIC - VARIABLE WIDTH)

EXIST. SMH STA. 8+93.0
 RIM = 36.27'
 INV. = 26.04' (REC.)



DATE: 04/30/15
 TEST BY: JAMES W. BURKE, P.E.

LEE COSTELLO ET AL., TRUSTEES OF
 QUINCY R&R REALTY TRUST
 BOOK 4384, PAGE 437

LEE COSTELLO ET AL., TRUSTEES OF
 QUINCY R&R REALTY TRUST
 LD. CT. CERT. NO. 102660

LEE COSTELLO ET AL., TRUSTEES OF
 QUINCY R&R REALTY TRUST
 BOOK 4384, PAGE 437

KATHLEEN EGAN
 BOOK 21707, PAGE 87



JAMES W. BURKE, PE DATE

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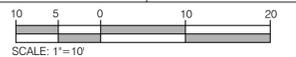
SITE PLAN
 1073 HANCOCK STREET
 QUINCY, MA 02169

PLAN TITLE:
 DEMOLITION/CONSTRUCTION MANAGEMENT

PREPARED FOR:
 HAOCHENG TRADING USA INC
 1073 HANCOCK STR., #302
 QUINCY, MA 02170

DATE: JANUARY 15, 2015
 REVISED: MAY 15, 2015

JOB NUMBER: 14.030 SHEET 3 OF 6



HANCOCK STREET

(PUBLIC - VARIABLE WIDTH)

NOTE: EXISTING SEWER WILL BE INSPECTED USING A VIDEO CAMERA. IF CONDITION AND SERVICEABILITY OF THE PIPE IS DETERMINED TO BE GOOD, THEN THE EXISTING PIPE WILL BE REUSED. IF THE PIPE IS NOT USABLE A PROPOSED 8" PVC SEWER SERVICE WILL BE INSTALLED.

GRADE=0.92%

EXISTING 8" CLAY SEWER S=0.0077

EXISTING 12" CLDI WATER MAIN

EXISTING 12" GAS MAIN

GRANITE CURB

CONCRETE SIDEWALK

CONCRETE SIDEWALK

NOTE: EXISTING FRONT STAIRS WILL BE RAZED TO ALLOW FOR INSTALLATION OF PROPOSED NEW UTILITIES AND CONSTRUCTION OF PROPOSED HANDICAP LIFT.

- LEGEND:**
- | | | | |
|------------------|-----------------------|------------------|-------------------------------------|
| EXISTING: | - LOCUS PROPERTY LINE | PROPOSED: | - KATHLEEN EGAN BOOK 21707, PAGE 87 |
| | - TREE LINE | | - DRAIN MANHOLE |
| | - SEWER MANHOLE | | - CATCH BASIN |
| | - STONEWALL | | - GAS VALVE |
| | - WATER VALVE | | - UTILITY POLE |
| | - NOW OR FORMERLY | | - STONE BOUND |
| | - IRON PIPE | | - DRAIN PIPE |
| | - WATER MAIN | | - FIRE HYDRANT |
| | - GAS MAIN | | - UNDERGROUND POWER |
| | - OVERHEAD WIRES | | - SEWER PIPE |
| | - CONTOUR | | - POST AND RAIL FENCE |
| | - CHAIN LINK FENCE | | - WETLAND LINE |
| | - WETLAND FLAG | | - WETLAND SYMBOL |
| | - SPOT GRADE | | - EROSION CONTROL BARRIER |
| | - SECURITY FENCE | | - TO BE REMOVED |
| | - CONIFEROUS TREE | | - DECIDUOUS TREE |
| | - FLARED END | | - FLARED END |

TOTAL LOT AREA
 17,856± SQ. FT. (CALC.)

EDWARD P. FLAVIN ET AL., TRUSTEES
 LAND CT. CERT. NO 145443

#1085
 EXISTING BUILDING

LEE COSTELLO ET AL., TRUSTEES OF
 QUINCY R&R REALTY TRUST
 BOOK 4384, PAGE 437

LEE COSTELLO ET AL., TRUSTEES OF
 QUINCY R&R REALTY TRUST
 BOOK 4384, PAGE 437

ZONING SCHEDULE

LOT ZONING CLASSIFICATION : BUSINESS C (BUSC)			
ZONING REQUIREMENT	REQUIRED	PROPOSED	VARIANCE NEEDED?
MINIMUM LOT SIZE	5,000 S.F.	17,856 S.F.	
MINIMUM FRONTAGE	60 FT.	159.85 FT.	
MINIMUM FRONT YARD SETBACK	N/A	N/A	
MINIMUM SIDE YARD SETBACK	N/A	N/A	
MINIMUM REAR YARD SETBACK	20 FT.	50.8 FT.	
MAXIMUM NUMBER OF STORIES	6 STORIES	4 STORIES	
MAXIMUM F.A.R.	3.5	X.X	
MINIMUM NUMBER OF PARKING SPACES	1 SPACES/2 ROOMS	22 SPACES	
MINIMUM PARKING AISLE WIDTH	24 FT.	24	



JAMES W. BURKE, PE DATE

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1073 HANCOCK STREET
QUINCY, MA 02169

PLAN TITLE:

LAYOUT

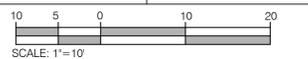
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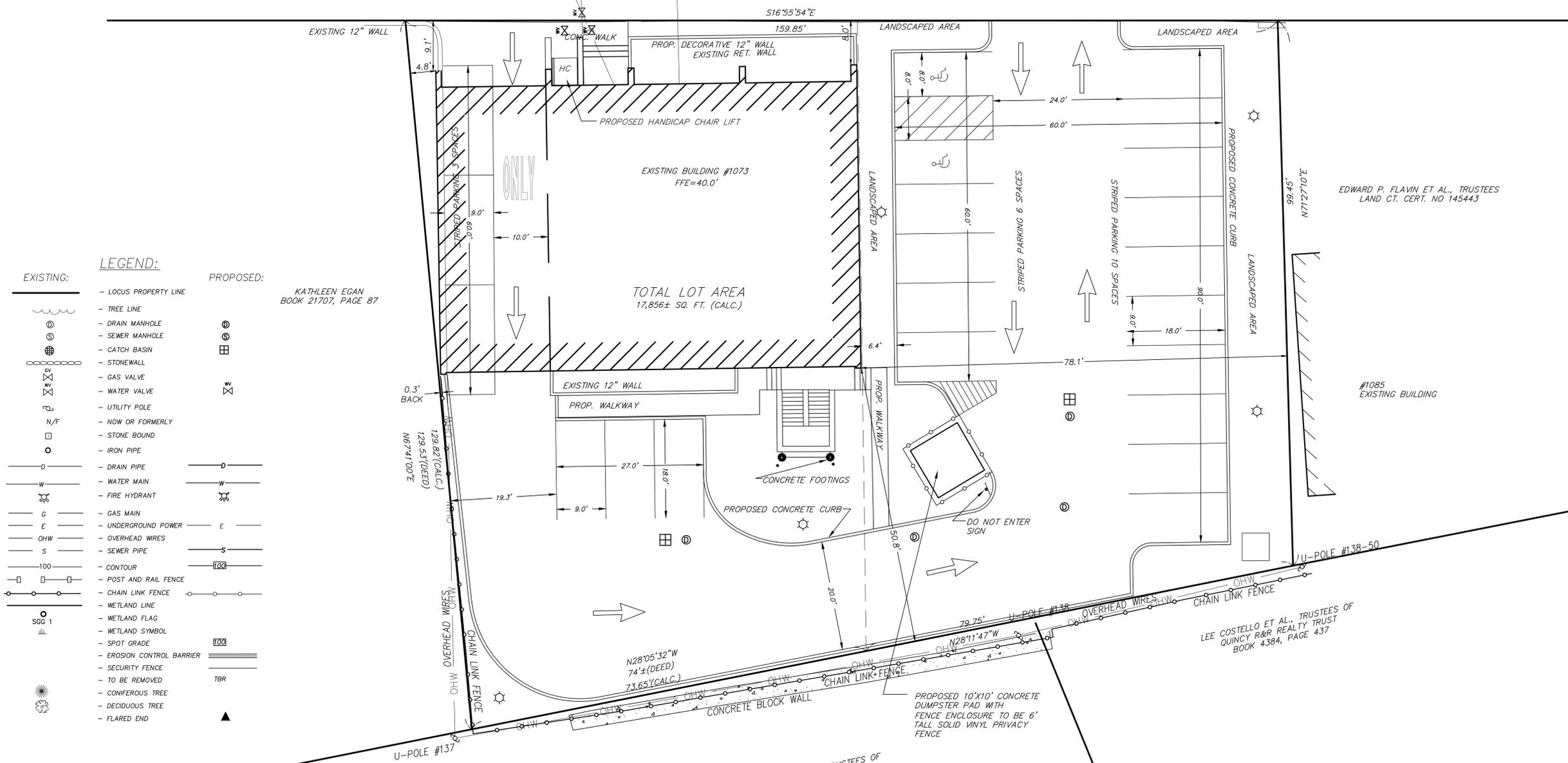
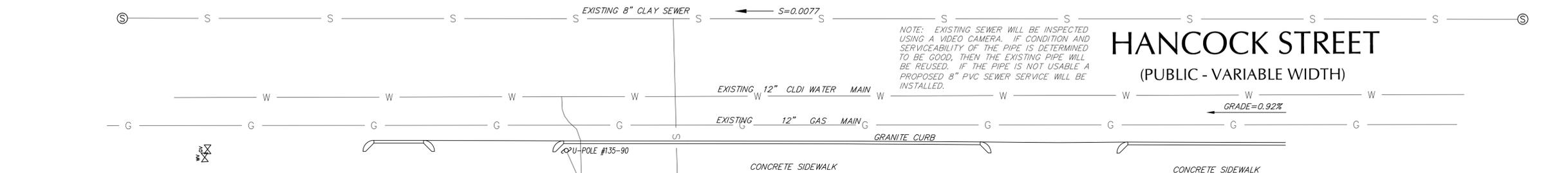
JOB NUMBER: 14.030 SHEET 4 OF 6



HANCOCK STREET

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LEGEND:

EXISTING:	PROPOSED:
— LOCUS PROPERTY LINE	— LOCUS PROPERTY LINE
— TREE LINE	— TREE LINE
— DRAIN MANHOLE	— DRAIN MANHOLE
— SEWER MANHOLE	— SEWER MANHOLE
— CATCH BASIN	— CATCH BASIN
— STONEWALL	— STONEWALL
— GAS VALVE	— GAS VALVE
— WATER VALVE	— WATER VALVE
— UTILITY POLE	— UTILITY POLE
N/F — NOW OR FORMERLY	— NOW OR FORMERLY
— STONE BOUND	— STONE BOUND
— IRON PIPE	— IRON PIPE
— DRAIN PIPE	— DRAIN PIPE
— WATER MAIN	— WATER MAIN
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— CONTOUR	— CONTOUR
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— SECURITY FENCE	— SECURITY FENCE
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— DECIDUOUS TREE	— DECIDUOUS TREE
— FLARED END	— FLARED END

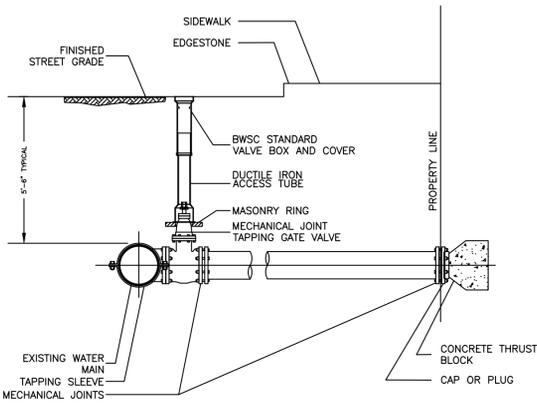
LEE COSTELLO ET AL., TRUSTEES OF QUINCY R&R REALTY TRUST BOOK 4384, PAGE 437

LEE COSTELLO ET AL., TRUSTEES OF QUINCY R&R REALTY TRUST LD. CT. CERT. NO. 102660

LEE COSTELLO ET AL., TRUSTEES OF QUINCY R&R REALTY TRUST BOOK 4384, PAGE 437

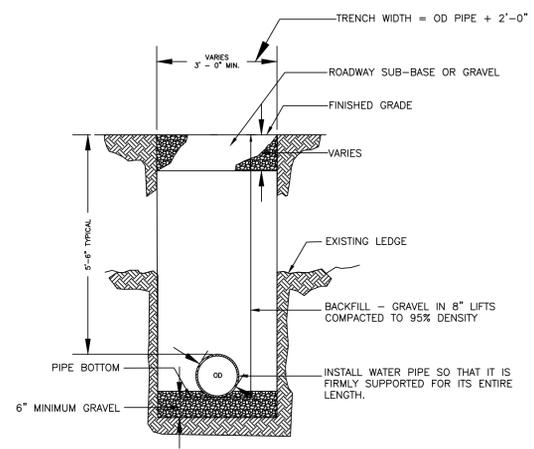
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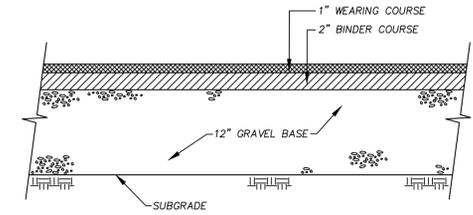
**TAPPING SLEEVE & GATE VALVE
FOR 6" FIRE & 4" DOMESTIC SERVICE**

N.T.S.

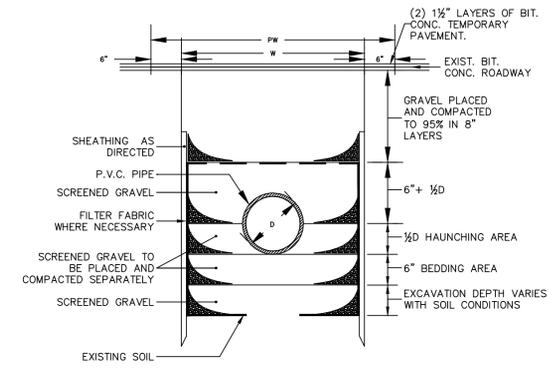


TYPICAL WATER TRENCH DETAIL

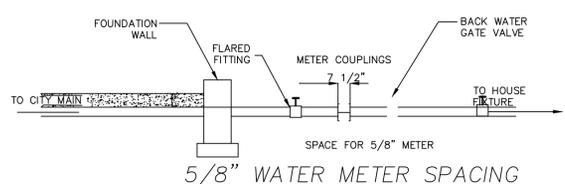
N.T.S.



**PAVEMENT SECTION
NOT TO SCALE**

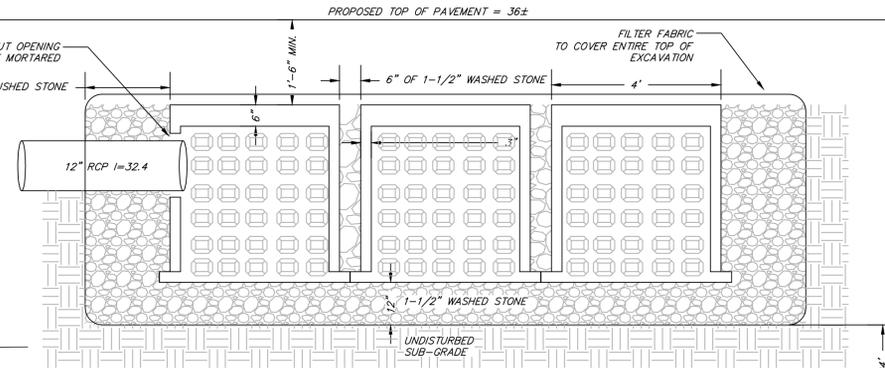


**TYPICAL P.V.C. TRENCH
N.T.S.**



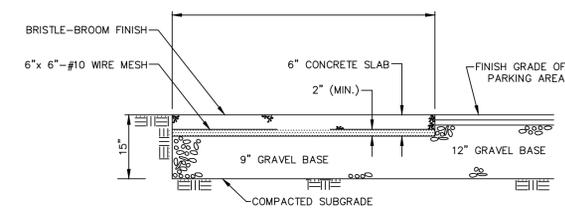
5/8" WATER METER SPACING

N.T.S.

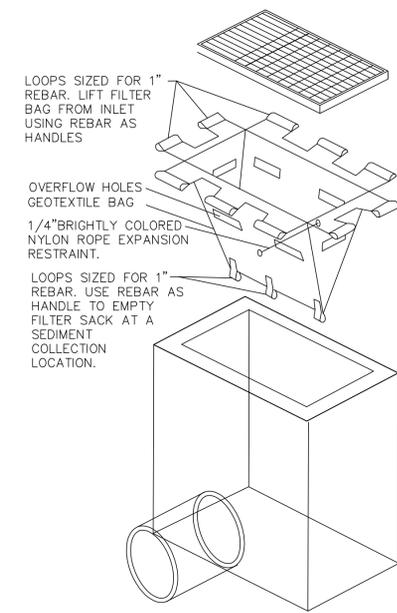


**SECTION A-A
4'x4'x4' LEACHING GALLEY PROFILE
NOT TO SCALE**

1. ALL MATERIALS TO BE MASS. HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS.



**DUMPSTER PAD
NOT TO SCALE**

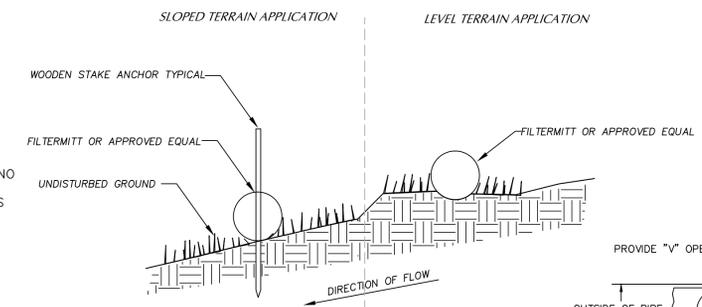


1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
2. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS FOR MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION.
3. PLACE AN OIL ABSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
4. INSPECT PER REGULATORY REQUIREMENTS.
5. THE WIDTH OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
6. THE DEPTH OF THE FILTER SACK SHALL BE BETWEEN 18" AND 36".
7. THE LENGTH OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

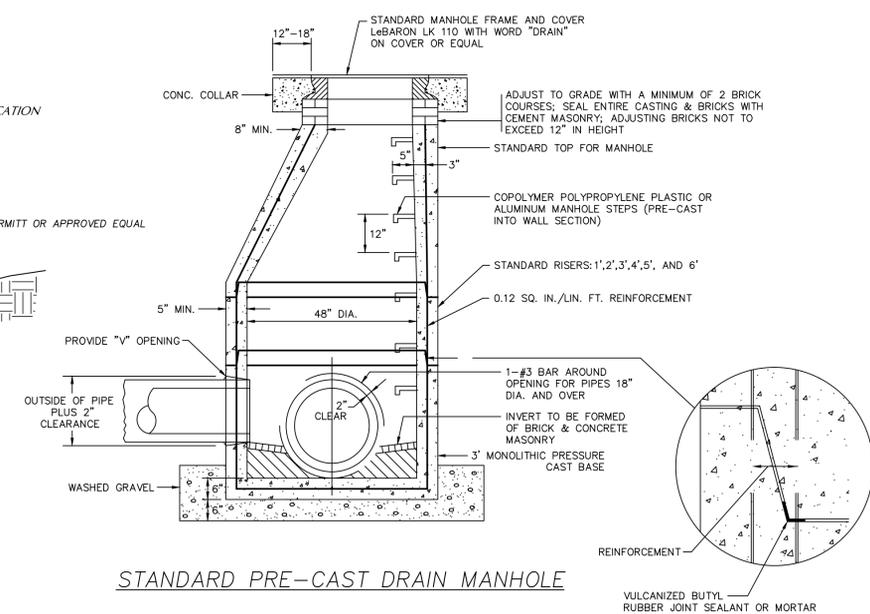
DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS TO BE USED IN NEW CATCH BASINS ONCE SET BIN NEW RIGHT-OF-WAY DURING CONSTRUCTION.

FILTER SACK (GRATED INLET)

N.T.S.



**FILTERMITT OR EQUIVALANT
NOT TO SCALE**



STANDARD PRE-CAST DRAIN MANHOLE



1266 Furnace Brook Parkway, Suite 401 Quincy, MA 02169
(617) 405-5100 (O) (617) 405-5101 (F)



JAMES W. BURKE, PE DATE

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