

CLEVERLY ESTATES

60 CLEVERLY COURT

QUINCY, MASSACHUSETTS

FEBRUARY 26, 2016

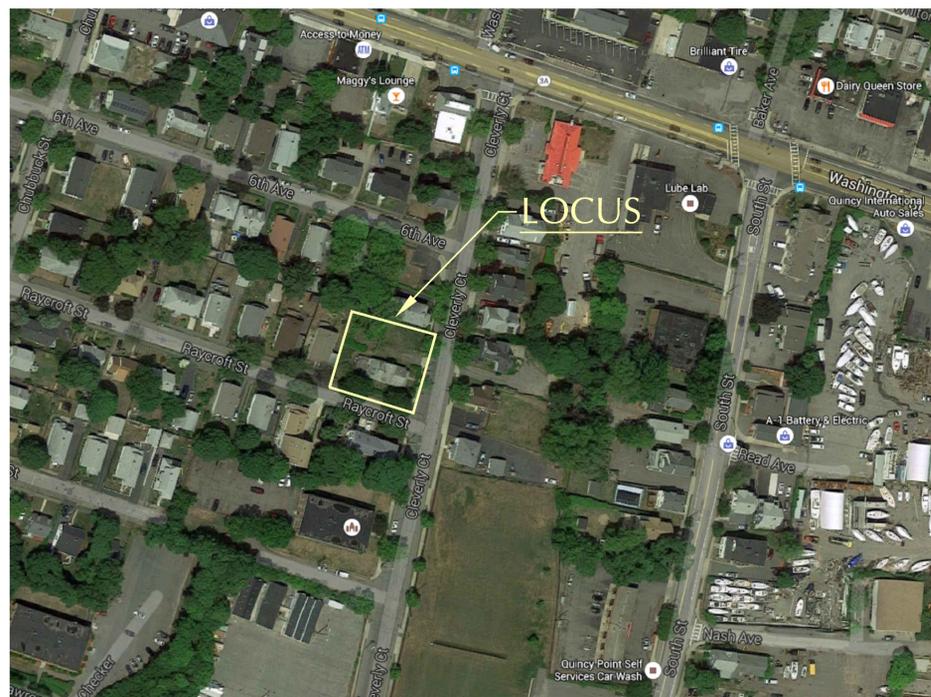


IMAGE FROM 2016 GOOGLE MAPS

LOCUS AERIAL
NTS

APPLICANT

JOSEPH TAYLOR
147 BEALE STREET
QUINCY, MA 02169

CIVIL/SURVEY

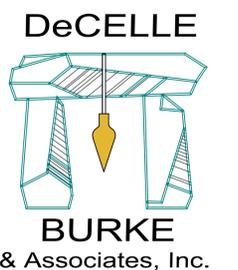
DECELLE-BURKE & ASSOCIATES
1266 FURNACE BROOK PARKWAY, SUITE 401
QUINCY, MA 02169

SHEETS

- 1 COVER SHEET
- 2 EXISTING CONDITIONS &
CONSTRUCTION MANAGEMENT
- 3 GRADING PLAN &
LAYOUT & UTILITIES
- 4 CONSTRUCTION DETAILS



REVISIONS:		
No.	DATE	
1	6/1/16	PEER REVIEW
2	6/22/16	PEER REVIEW
3	7/09/16	PEER REVIEW



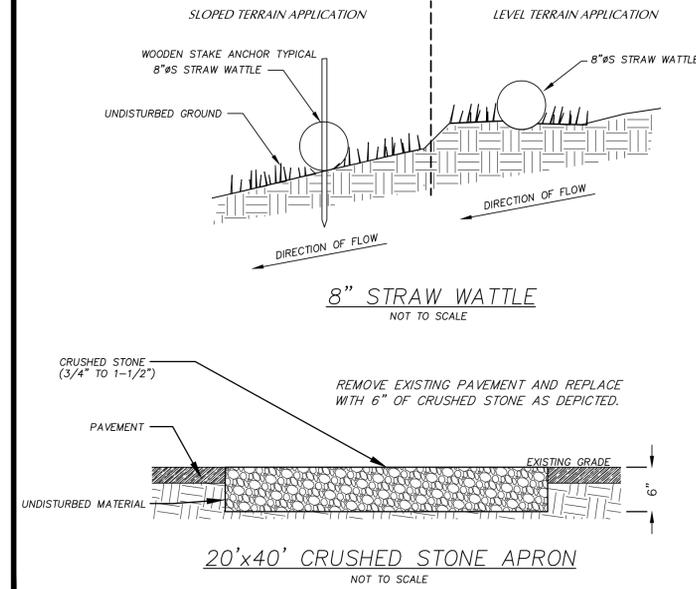
LEGEND:

EXISTING:	PROPOSED:
- LOCUS PROPERTY LINE	- LOCUS PROPERTY LINE
- SCRUB LINE	- SCRUB LINE
- DRAIN MANHOLE	- DRAIN MANHOLE
- SEWER MANHOLE	- SEWER MANHOLE
- CATCH BASIN	- CATCH BASIN
- STONEWALL	- STONEWALL
- GAS VALVE	- GAS VALVE
- WATER VALVE	- WATER VALVE
- UTILITY POLE	- UTILITY POLE
- NOW OR FORMERLY	- NOW OR FORMERLY
- STONE BOUND	- STONE BOUND
- IRON PIPE	- IRON PIPE
- DRAIN PIPE	- DRAIN PIPE
- WATER MAIN	- WATER MAIN
- FIRE HYDRANT	- FIRE HYDRANT
- GAS MAIN	- GAS MAIN
- UNDERGROUND POWER	- UNDERGROUND POWER
- OVERHEAD WIRES	- OVERHEAD WIRES
- SEWER PIPE	- SEWER PIPE
- CONTOUR	- CONTOUR
- POST AND RAIL FENCE	- POST AND RAIL FENCE
- SPOT GRADE	- SPOT GRADE
- CONIFEROUS TREE	- CONIFEROUS TREE
- DECIDUOUS TREE	- DECIDUOUS TREE
- HEDGE	- HEDGE
- LSA	- LSA

SOIL LOGS

TEST PIT	1	2	3
GRD. EL.	20.4	20.9	20.4
GW. EL.	NGWO	NGWO	NGWO
0"	Ap, SANDY LOAM 10YR3/3, FRIABLE	FILL, LOAMY SAND	FILL, LOAMY SAND
12"	Bw, SANDY LOAM 10YR4/4 FRIABLE	OLD Ap, SANDY LOAM DENSE, 10YR3/3	OLD Ap, SANDY LOAM DENSE, 10YR3/3
22"	C, SAND 2.5Y4/3 ICE CONTACT OUTWASH COARSE SAND AND GRAVEL WITH STONES NO SILT, SINGLE-GRAINED NGWO, NO MOTTLES	Bw, SANDY LOAM 10YR4/4 MIXED, UNDEFINED	Bw, SANDY LOAM 10YR4/4 MIXED, UNDEFINED
100"		C, SAND 2.5Y4/3 ICE CONTACT OUTWASH COARSE SAND AND GRAVEL WITH MANY STONES, BONEY, SINGLE-GRAINED NGWO, NO MOTTLES	C, SAND 2.5Y4/3 ICE CONTACT OUTWASH COARSE SAND AND GRAVEL WITH MANY STONES, BONEY, SINGLE-GRAINED STRATIFIED LAYERS OF MED. TO FINE SAND.
		94"	156"
			NGWO, NO MOTTLES

TEST PERFORMED BY JAMES BURKE, SOIL EVALUATOR
DATE OF TEST PIT 1 & 2: 02/26/16; DATE OF TEST PIT 3: 06/10/16



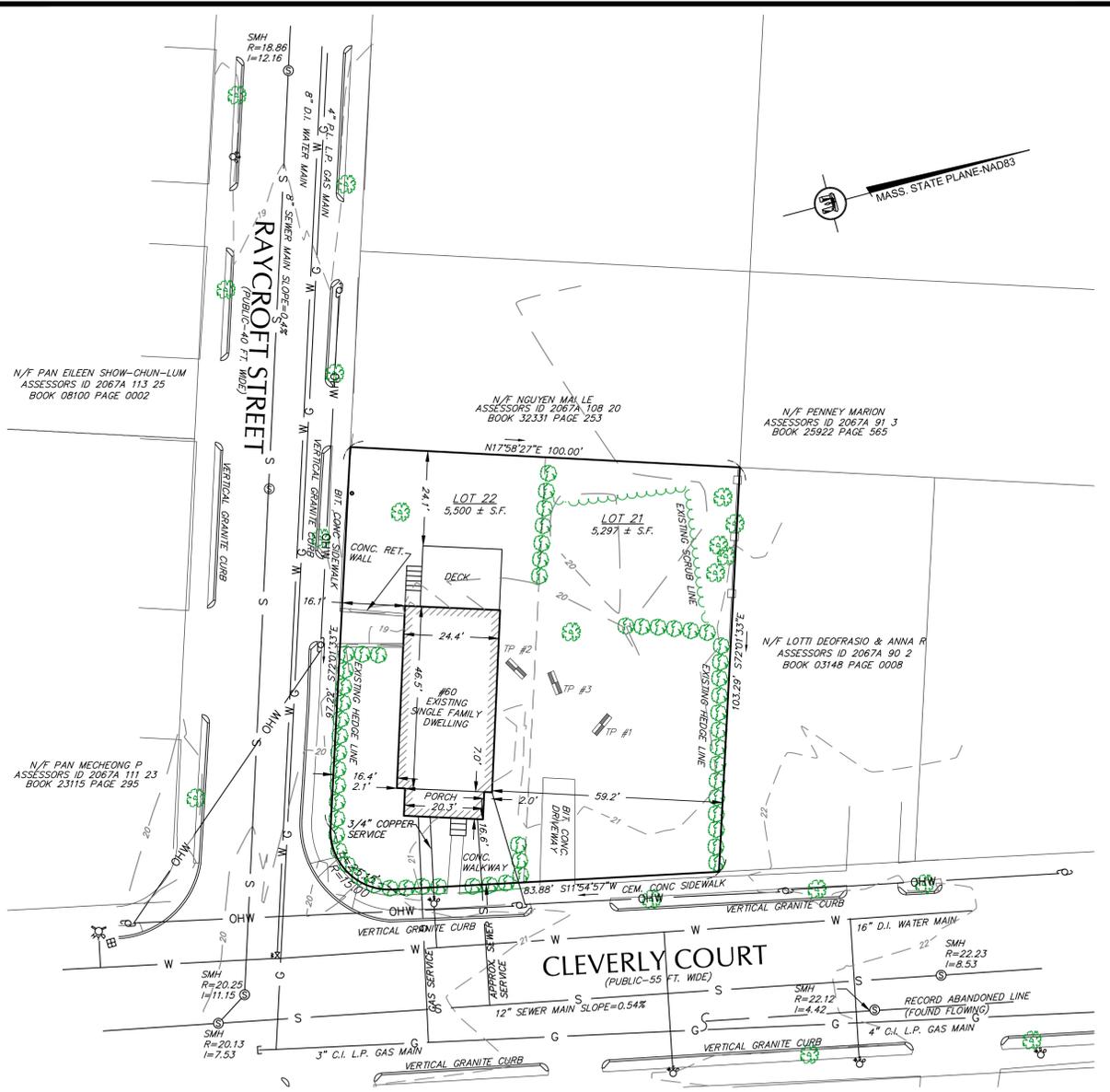
DEMOLITION & CONSTRUCTION NOTES:

A CRUSHED STONE APRON SHALL BE CONSTRUCTED AS SHOWN TO MINIMIZE TRUCK TIRES LEAVING SEDIMENT ON THE ROADWAYS.

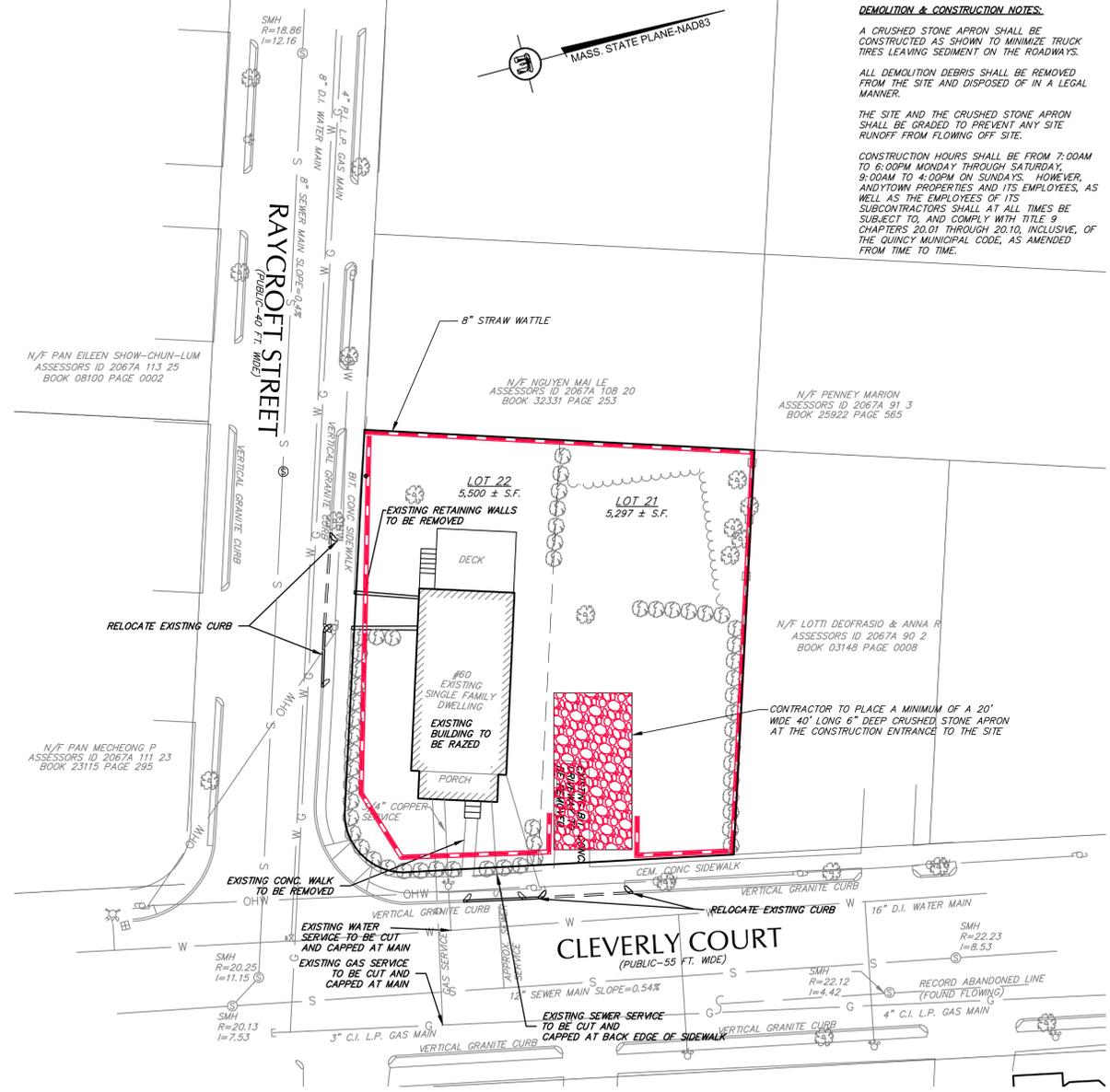
ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.

THE SITE AND THE CRUSHED STONE APRON SHALL BE GRADED TO PREVENT ANY SITE RUNOFF FROM FLOWING OFF SITE.

CONSTRUCTION HOURS SHALL BE FROM 7:00AM TO 6:00PM MONDAY THROUGH SATURDAY, 9:00AM TO 4:00PM ON SUNDAYS. HOWEVER, ANYTOWN PROPERTIES AND ITS EMPLOYEES, AS WELL AS THE EMPLOYEES OF ITS SUBCONTRACTORS SHALL AT ALL TIMES BE SUBJECT TO, AND COMPLY WITH TITLE 9 CHAPTERS 20.01 THROUGH 20.10, INCLUSIVE, OF THE QUINCY MUNICIPAL CODE, AS AMENDED FROM TIME TO TIME.



EXISTING CONDITIONS



CONSTRUCTION MANAGEMENT

DeCELLE

BURKE & Associates, Inc.
 1266 Furnace Brook Parkway, Suite 401 Quincy, MA 02169
 (617) 405-5100 (O) (617) 405-5101 (F)

CLAUDIO SALA, PLS DATE

- GENERAL NOTES:**
- LOCUS: ASSESSORS MAP 2067A BLOCK 110 LOT 22
RECORD OWNER: GLEN T & JEAN M MUNN DEED REFERENCE: BOOK 7647 PAGE 326 PLAN REFERENCE: BOOK 1729 PAGE 489
 - THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE IN JANUARY 2016. ELEVATIONS SHOWN ON NAVD 88 DATUM.
 - EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY IN SERVICE.
 - DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
 - THE LOT SHOWN DOES NOT LIE IN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25021C-0226F DATED JUNE 9, 2014.
 - PARCEL IS ZONED RESB.
MIN. LOT AREA = 6,750 S.F.
MIN. FRONTAGE = 75 FT.
MIN. FRONT YARD = 25 FT.
MIN. SIDE YARD = 25 FT.
MIN. REAR YARD = 25 FT.
MAX. STORIES = 3
 - AN AS-BUILT PLAN SHALL BE SUBMITTED TO THE QUINCY ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT AND PRIOR TO OCCUPANCY.

PROJECT TITLE & LOCATION:

CLEVERLY ESTATES
60 CLEVERLY COURT
 QUINCY MA, 02169

PLAN TITLE: EXISTING CONDITIONS & CONSTRUCTION MANAGEMENT

PREPARED FOR:

JOSEPH TAYLOR
 147 BEALE STREET
 QUINCY, MA 02169

DATE: FEBRUARY 26, 2016
 REVISED: JUNE 1, 2016
 REVISED: JUNE 22, 2016
 REVISED: JULY 8, 2016

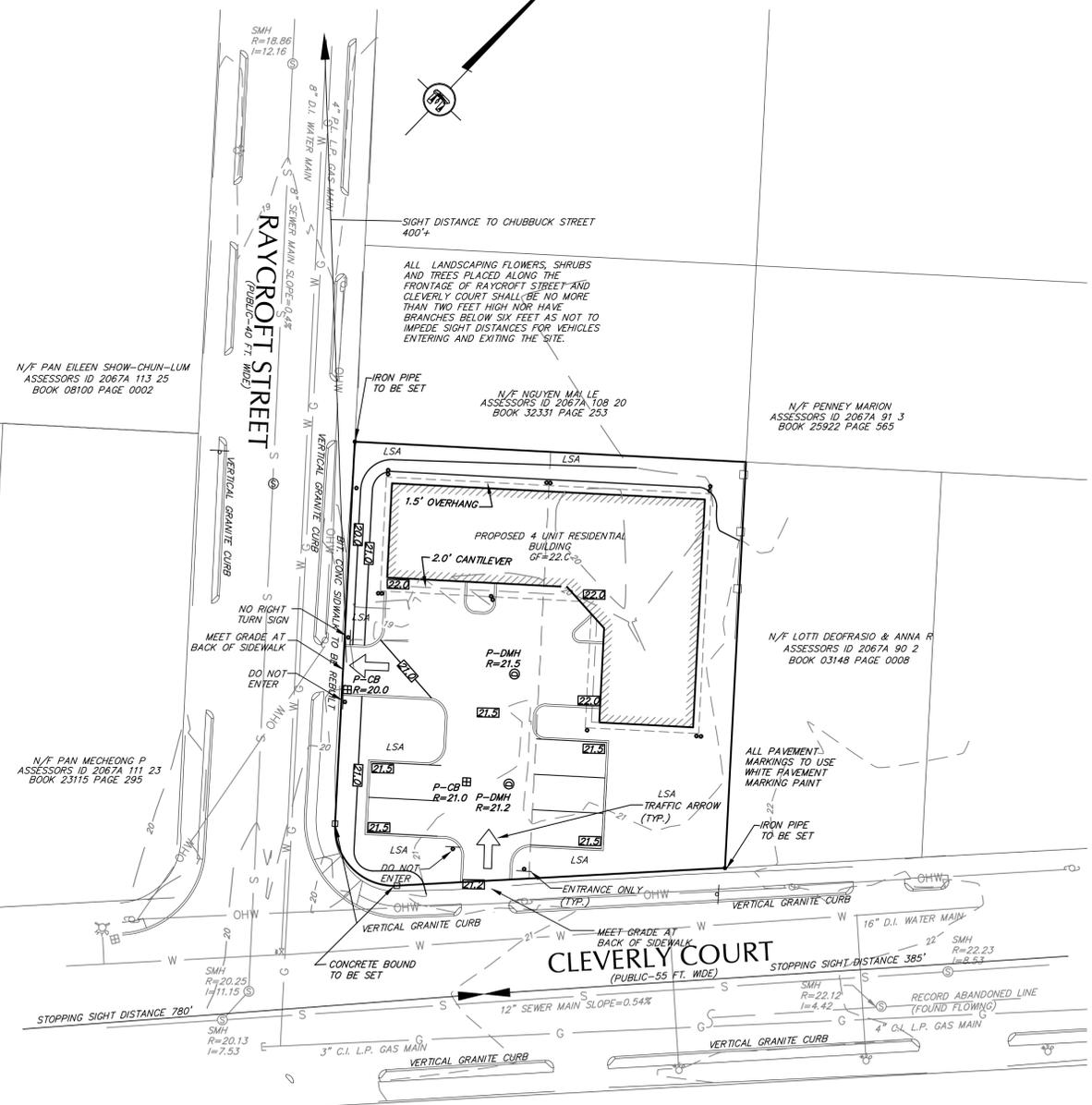
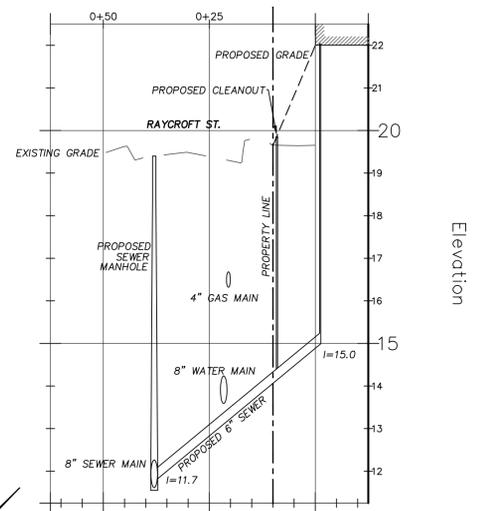
JOB NUMBER: 200.017 SHEET 2 OF 4

SCALE: 1"=20'

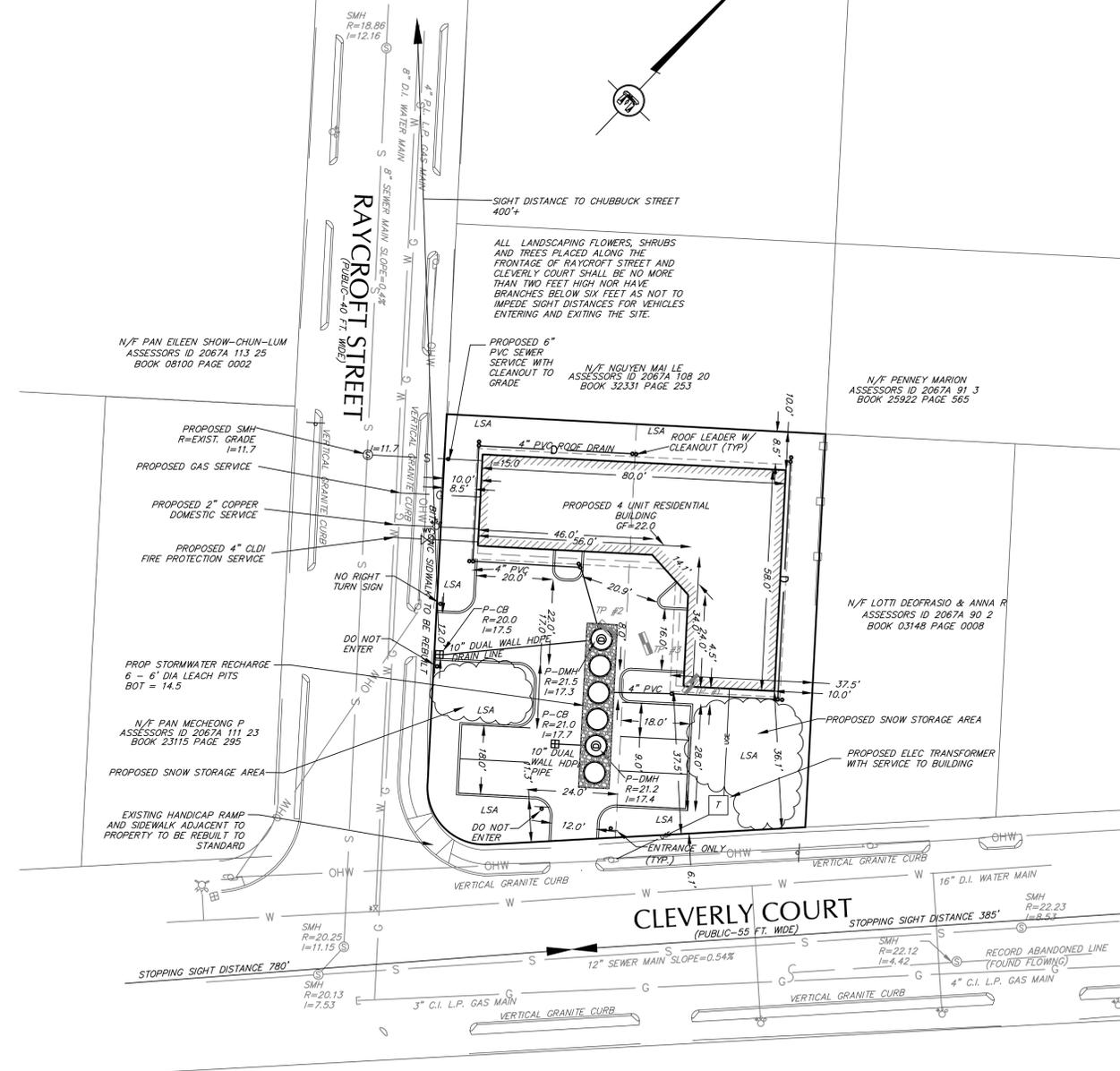
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- LSA	- LSA

SEWER PROFILE



GRADING PLAN



LAYOUT & UTILITIES

ZONING SCHEDULE

LOT ZONING CLASSIFICATION : RESIDENTIAL B (RESB)

ZONING REQUIREMENT	REQUIRED	PROPOSED	VARIANCE NEEDED?
MINIMUM LOT SIZE	6,750 FT.	10,792 S.F.	VARIANCE REQUIRED
MINIMUM FRONTAGE	75 FT.	83.89 FT.	
MINIMUM FRONT YARD SETBACK	25 FT.	8.5 FT.	VARIANCE REQUIRED
*MINIMUM SIDE YARD SETBACK	25 FT.	8.5 FT.	
MINIMUM REAR YARD SETBACK	25 FT.	N/A	VARIANCE REQUIRED
MAXIMUM NUMBER OF STORIES	3 STORIES	2.5 STORIES	
MAXIMUM F.A.R.	0.4	0.56	VARIANCE REQUIRED
MINIMUM GREEN SPACE	700 S.F. / UNIT	1,028 S.F. / UNIT	
MINIMUM LOT AREA PER UNIT	4,000 S.F. / UNIT	2,698 S.F. / UNIT	VARIANCE REQUIRED
MINIMUM NUMBER OF PARKING SPACES	1.75 SPACES / UNIT	2.25 SPACES / UNIT	

PLEASE NOTE THERE ARE TWO SIDE YARD VARIANCE REQUESTS FOR THE SAME DISTANCE OF 8.5 FEET



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JAMES W. BURKE, P.E. DATE

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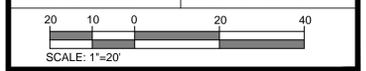
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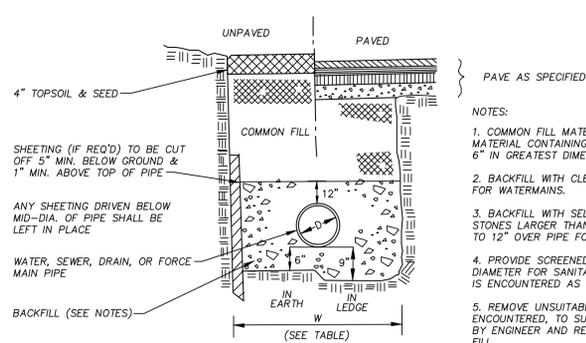
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PLAN TITLE: GRADING PLAN & LAYOUT & UTILITIES

PREPARED FOR:
JOSEPH TAYLOR
147 BEALE STREET
QUINCY, MA 02169

DATE: FEBRUARY 26, 2016
REVISED: JUNE 1, 2016
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JOB NUMBER: 200.017 SHEET 3 OF 4





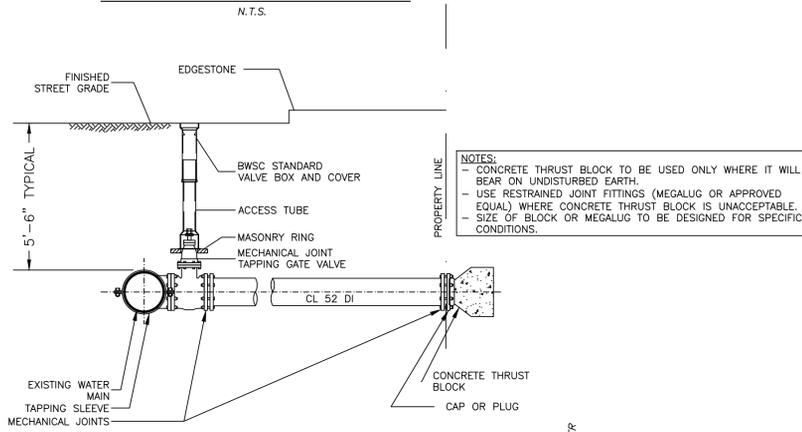
- NOTES:
1. COMMON FILL MATERIAL TO CONSIST OF GRANULAR MATERIAL CONTAINING NO STONES LARGER THAN 6" IN GREATEST DIMENSION.
 2. BACKFILL WITH CLEAN SAND TO 12" OVER PIPE FOR WATERMAINS.
 3. BACKFILL WITH SELECT MATERIAL CONTAINING NO STONES LARGER THAN 3" IN GREATEST DIMENSION TO 12" OVER PIPE FOR SEWER AND DRAIN PIPES.
 4. PROVIDE SCREENED GRAVEL BEDDING TO MID PIPE DIAMETER FOR SANITARY SEWERS AND WHERE GROUNDWATER IS ENCOUNTERED AS DIRECTED BY THE ENGINEER.
 5. REMOVE UNSUITABLE MATERIAL BELOW GRADE IF ENCOUNTERED, TO SUITABLE DEPTHS AS DIRECTED BY ENGINEER AND REPLACE WITH CLEAN GRANULAR FILL.

TRENCH WIDTH		
D DIAMETER OF PIPE	W UNSHEEDED	W SHEEDED
TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'

- NOTES:
1. ALL TRENCH CONSTRUCTION TO CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
 2. COMPACT FILL AND TAMP PIPE TO 93% MAX. DENSITY UNLESS OTHERWISE SPECIFIED.
 3. MATERIALS TO BE USED ARE CL 52 DIOL AND SDR 35 PVC

TYPICAL TRENCH SECTIONS

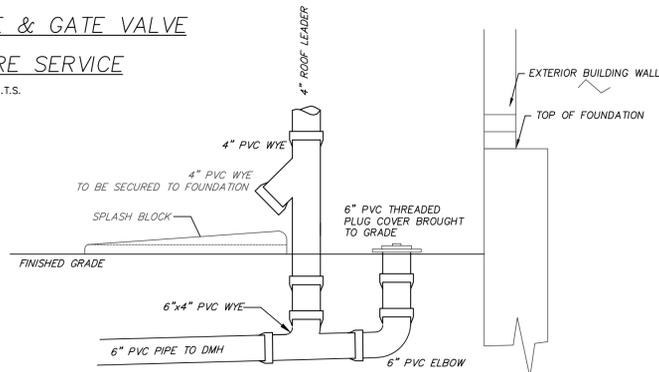
N.T.S.



TAPPING SLEEVE & GATE VALVE

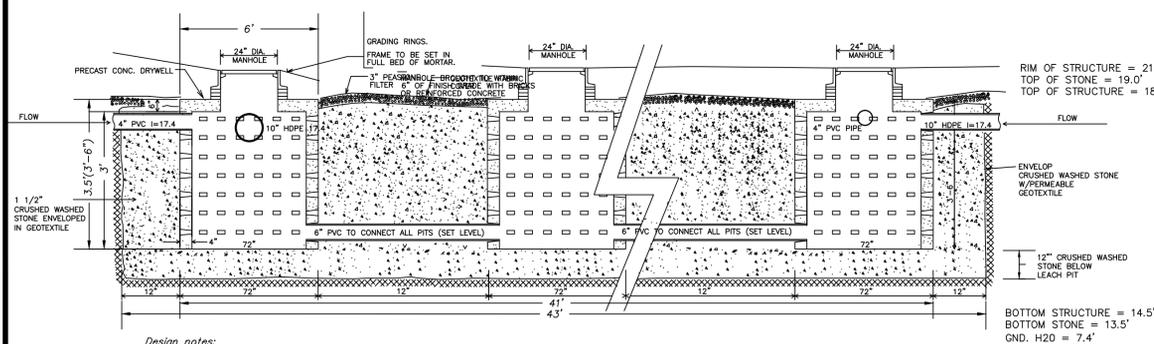
FOR 4" FIRE SERVICE

N.T.S.



TYPICAL ROOF DRAIN W/ OVERFLOW & CLEANOUT

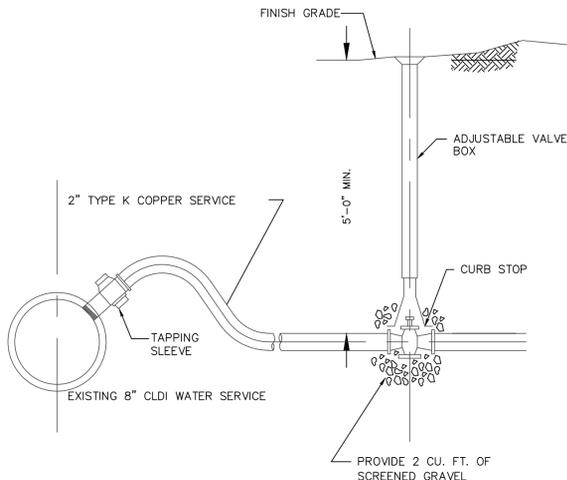
N.T.S.



- Design notes:
1. Concrete 5,000 P.S.I. @28 days
 2. Cement: Portland type II per ASTM C-150-81
 3. Steel reinforcement per ASTM A-615 grade 60
 4. Design loading per AASHTO H-20

8' X 4.3' STORMWATER SYSTEM WITH 6' DIAMETER LEACHING PITS

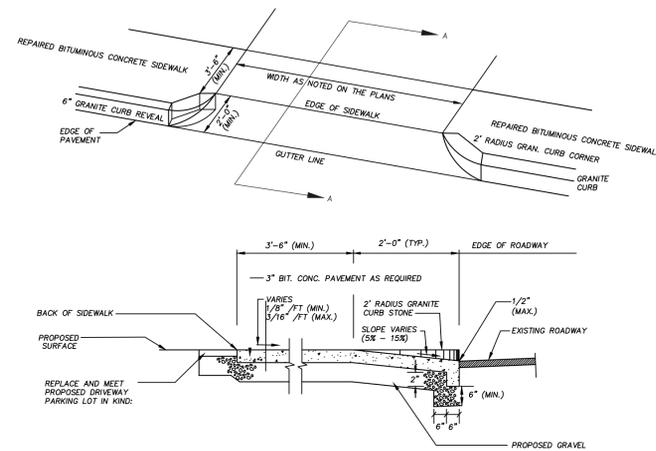
N.T.S.



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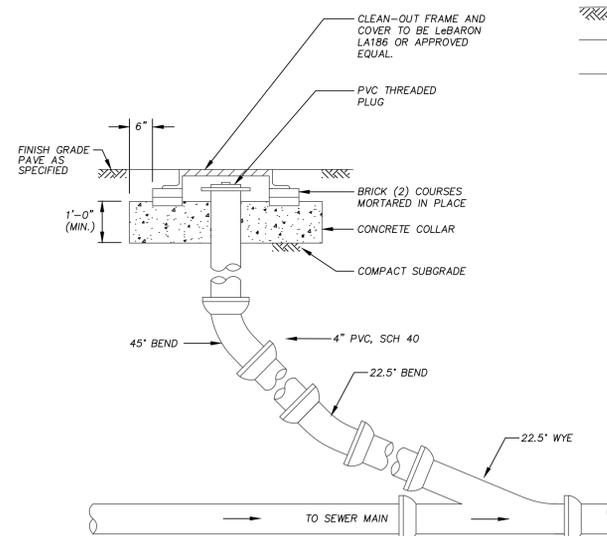
FOR 2" COPPER DOMESTIC WATER SERVICE

N.T.S.



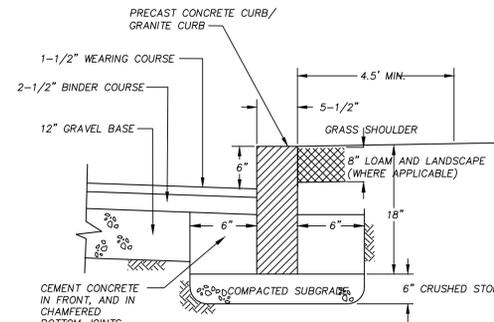
CURB CUT W/ CURB CORNER DETAIL

N.T.S.



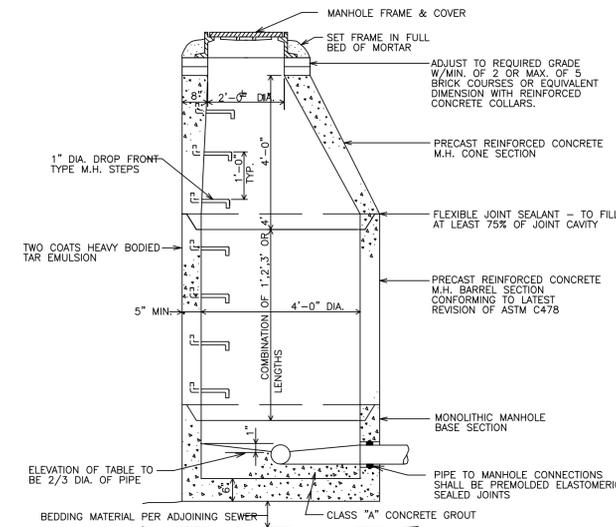
TYPICAL SEWER CLEAN-OUT DETAIL

NOT TO SCALE



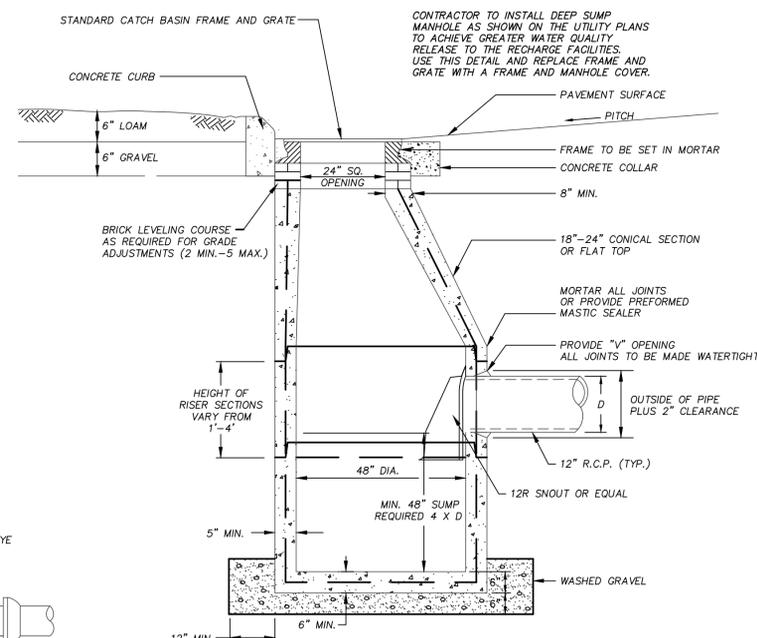
PAVEMENT SECTION & CONCRETE & GRANITE CURB DETAIL

N.T.S.



PRECAST CONCRETE SEWER MANHOLE

N.T.S.



PRECAST CONCRETE CATCH BASIN

N.T.S.

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