

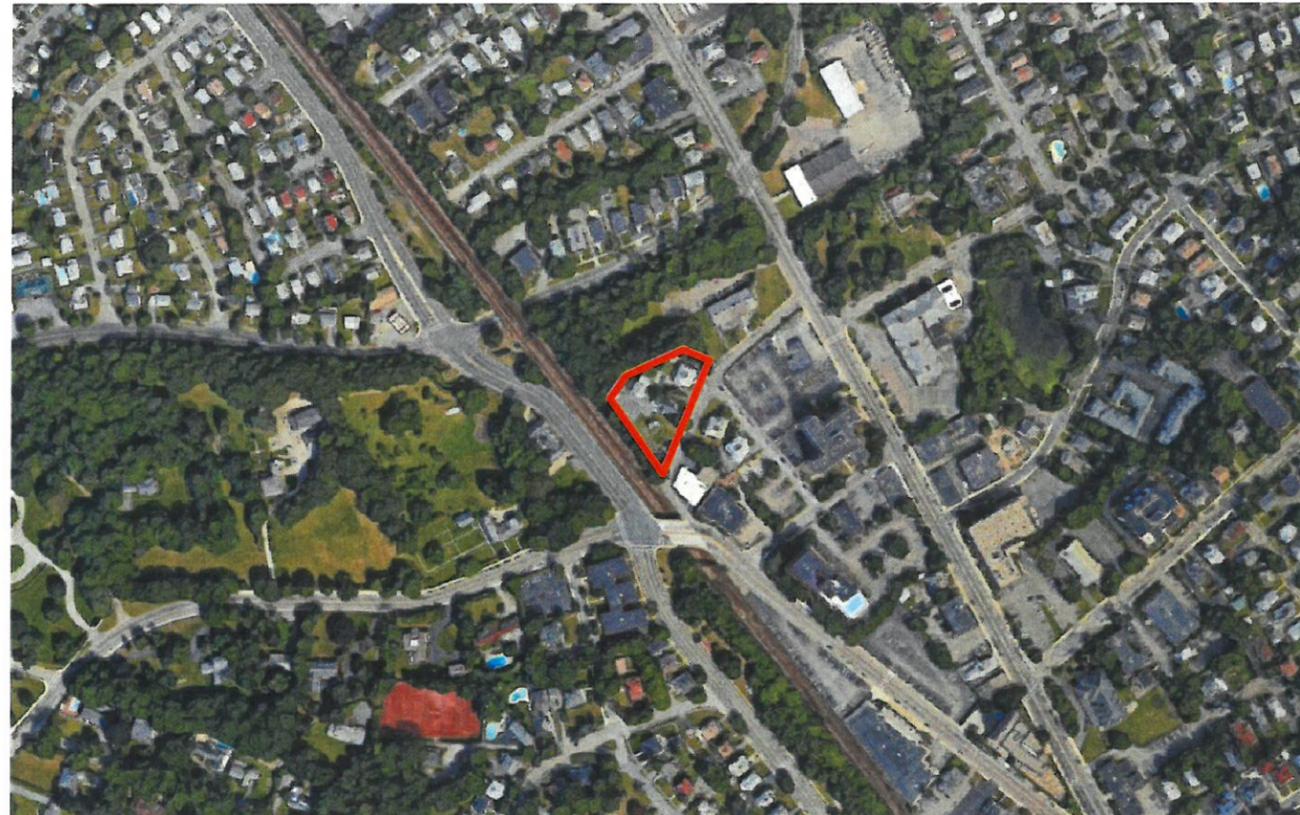
23-31 BRIDGE STREET

23-31 BRIDGE STREET, QUINCY, MA

JULY 27, 2016

SITE PLAN REVIEW

SITE AERIAL (NOT TO SCALE)



DRAWING LIST

A000	TITLE PAGE
A001	LOCUS MAPS
A002	CONTEXT PHOTOGRAPHS
SP-1	EXISTING CONDITIONS
SP-2	CONSTRUCTION MANAGEMENT
SP-3	LAYOUT AND UTILITY
SP-4	GRADING
SP-5	CONSTRUCTION DETAILS
LA-1	LANDSCAPE PLAN
A100	LEVEL 1 FLOOR PLAN
A101	PARKING LEVEL -1 FLOOR PLAN
A102	PARKING LEVEL -2 FLOOR PLAN
A103	TYPICAL FLOOR PLAN
A104	TYPICAL UNIT PLANS
A105	ROOF PLAN
A300	BUILDING SECTION
A400	ELEVATIONS
A401	ELEVATIONS
A600	ILLUSTRATIVE RENDERING
A601	ILLUSTRATIVE RENDERING
A602	MATERIALS
A603	SIGNAGE
A700	SUN AND SHADOW STUDY

BUILDING AREA (GROSS SQ FT)

FIRST FLOOR	16,075 GSF*
SECOND FLOOR	15,720 GSF
THIRD FLOOR	15,720 GSF
FOURTH FLOOR	15,720 GSF
FIFTH FLOOR	15,720 GSF
ROOF LEVEL	1,375 GSF**
TOTAL	80,330 GSF

*including garage ramp and parking under Level 2,
excluding parking under building (29,520 GSF)

**enclosed spaces only

ARCHITECT EMBARC

80 K STREET, THIRD FLOOR
BOSTON, MA 02127
617.766.8330
www.embarcstudio.com

OWNER BOSTON PROPERTY DEVELOPMENT

125 GREENLEAF STREET
QUINCY, MA 02169
O: 617.758.8215

CIVIL ENGINEER

DECELLE - BURKE & ASSOCIATES
1366 FURNACE BROOK PARKWAY #401
QUINCY, MA 02169
O: 617.405.5100

LANDSCAPE ARCHITECT

MA LANDSCAPE ARCHITECTS
1700 WELLINGTON ST
DIGHTON, MA 02715
O: 508.496.7750

ATTORNEY

FLEMING & FLEMING
85 CLAY ST
QUINCY, MA 02170
O: 617.472.5100

23-31 BRIDGE STREET
23-31 BRIDGE STREET, QUINCY, MA
SITE PLAN REVIEW
JULY 27, 2016

REVISIONS

NO.	DESCRIPTION	DATE

DRAWING INFORMATION

ISSUE: SITE PLAN REVIEW
DATE: JULY 27, 2016
PROJECT # 16054
DRAWN BY: EMBARC
SCALE:

DRAWING TITLE

TITLE PAGE

DRAWING NUMBER

A000

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 1,000 FT RADIUS FROM 23-31 BRIDGE STREET
 SCALE: 1" = 100'



23-31 BRIDGE ST IS LOCATED IN BUS-C DISTRICT

ARCHITECT
EMBARC
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 63 CLAY ST
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23-31 BRIDGE STREET
 23-31 BRIDGE STREET, QUINCY, MA
SITE PLAN REVIEW
 JULY 27, 2016

REVISIONS

NO.	DATE	DESCRIPTION

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 SHEET: SITE PLAN REVIEW
 DATE: JULY 27, 2016
 PROJECT #: 14054
 DRAWN BY: EMBARC
 SCALE:

DRAWING TITLE
 LOCUS MAPS

DRAWING NUMBER
A001



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ATTORNEY
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 85 CLAY ST
 QUINCY, MA 02170
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23-31 BRIDGE STREET
 23-31 BRIDGE STREET, QUINCY, MA
SITE PLAN REVIEW
 JULY 27, 2016

REVISIONS

NO.	DESCRIPTION	DATE

DRAWING INFORMATION

ISSUE: SITE PLAN REVIEW
 DATE: JULY 27, 2016
 PROJECT #: 16054
 DRAWN BY: EMBARC
 SCALE:

DRAWING TITLE
 CONTEXT PHOTOGRAPHS

DRAWING NUMBER
A002

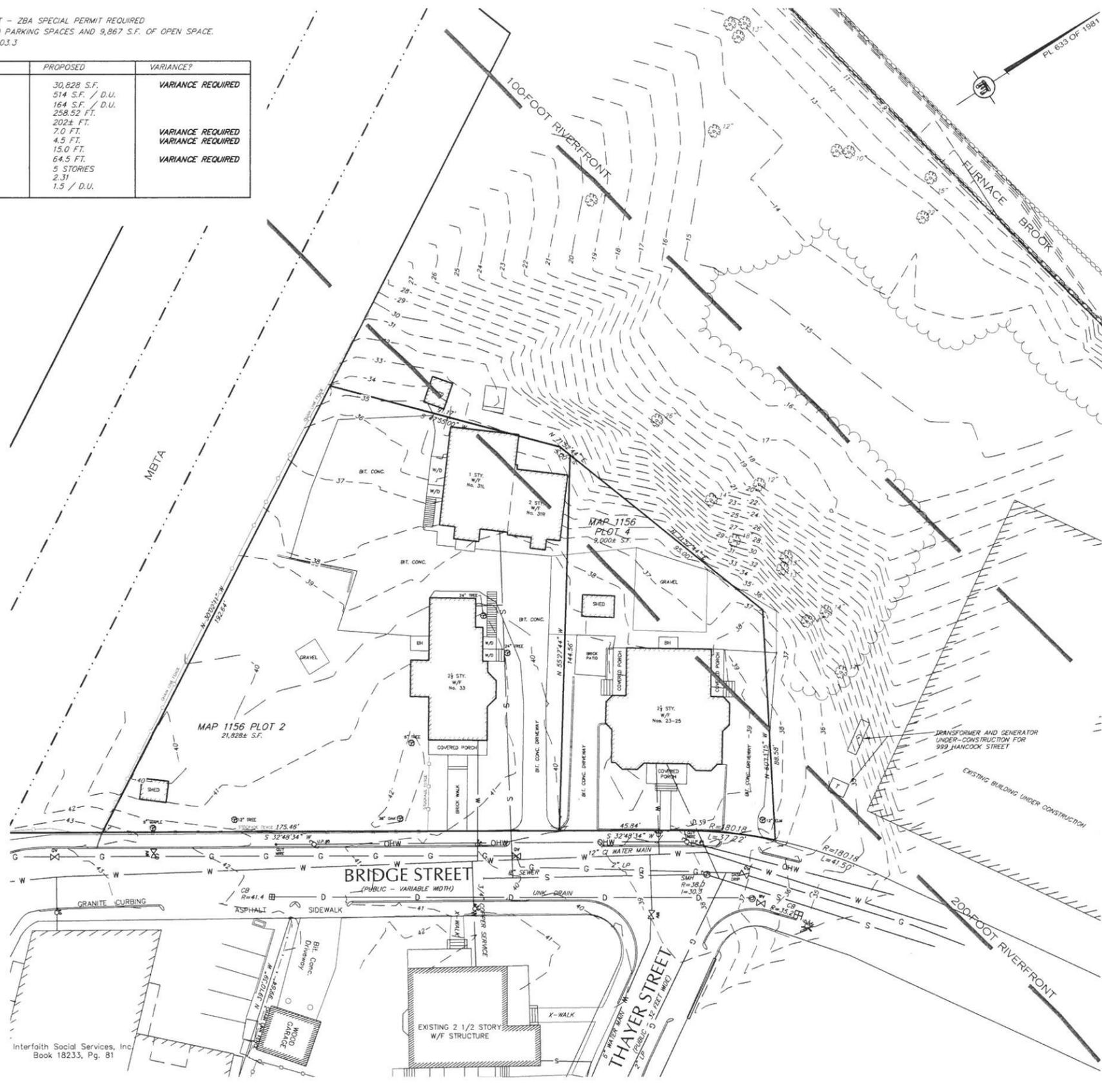
ZONING SCHEDULE

LOT ZONING CLASSIFICATION : BUSINESS C (BUSC); HISTORIC OVERLAY DISTRICT - ZBA SPECIAL PERMIT REQUIRED
 PROPOSING A 18,460 S.F., FIVE STORY, 60 UNIT RESIDENTIAL BUILDING WITH 90 PARKING SPACES AND 9,867 S.F. OF OPEN SPACE.
 PROPOSED BUILDING AVG. EXISTING GRADE = 38.8, PROPOSED ROOF ELEV. = 103.3

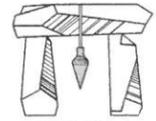
	REQUIRED	EXISTING	PROPOSED	VARIANCE?
MINIMUM LOT SIZE	42,000 S.F.	30,828 S.F.	30,828 S.F.	VARIANCE REQUIRED
MIN. LOT AREA / DWELLING UNIT	500 S.F. / D.U.	N/A	514 S.F. / D.U.	
MIN. OPEN SPACE / DWELLING UNIT	100 S.F. / D.U.	N/A	164 S.F. / D.U.	
MINIMUM FRONTAGE	100 FT.	258.52 FT.	258.52 FT.	
MIN. LOT WIDTH	100 FT.	202± FT.	202± FT.	
MINIMUM FRONT YARD SETBACK	15.0' 1/4 BLDG HT.	FT.	7.0 FT.	VARIANCE REQUIRED
MINIMUM SIDE YARD SETBACK	15.0' 1/4 BLDG HT.	FT.	4.5 FT.	VARIANCE REQUIRED
MINIMUM REAR YARD SETBACK	15.0' 1/4 BLDG HT.	FT.	15.0 FT.	
MAX. BUILDING HEIGHT	60 FT.	30± FT.	64.5 FT.	VARIANCE REQUIRED
MAXIMUM NUMBER OF STORIES	6 STORIES	3 STORIES	5 STORIES	
MAXIMUM F.A.R.	3.5	0.15	2.31	
MIN. PARKING SPACES/DWELLING UNIT	1.5 / D.U.	N/A	1.5 / D.U.	

LEGEND:

EXISTING:	PROPOSED:



DeCELLE



BURKE & Associates, Inc.
 1266 Furnace Brook Parkway, Suite 401 Quincy, MA 02169
 (617) 405-5100 (O) (617) 405-5101 (F)



CLAUDIO SALA, PLS DATE

GENERAL NOTES:

- LOCUS: 23 BRIDGE STREET
 ASSESSORS MAP 1156 PLOT 4
 RECORD OWNER: MARY DEWARRENES
 DEED REFERENCE: BOOK 17876 PAGE 572
 31 BRIDGE STREET
 ASSESSORS MAP 1156 PLOT 2
 RECORD OWNER: CHARLES DEWARRENES
 DEED REFERENCE: BOOK 31665 PAGE 151
- THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE IN JUNE 2016. ELEVATIONS SHOWN ON NAVD 88 DATUM.
- EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
- DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25021C-0069F, DATED JUNE 09, 2014.
- PARCEL IS ZONED BUS C.
 MIN. LOT AREA = 5,000 S.F.
 MIN. FRONTAGE = 60 FT.
 MIN. FRONT YARD = 0 FT.
 MIN. SIDE YARD = 0 FT.
 MIN. REAR YARD = 20 FT.
 MAX. STORIES = 6
- WETLAND RESOURCE NOTES:
 EXISTING 200 FOOT WETLAND RESOURCE AREA = 3,564 S.F.
 EXISTING IMPERVIOUS AREA IN 200 RIVERFRONT = 1,566 S.F.

PROJECT TITLE & LOCATION:

SITE PLAN
 23 & 31 BRIDGE STREET
 QUINCY, MA 02169

PLAN TITLE:

EXISTING CONDITIONS

PREPARED FOR:

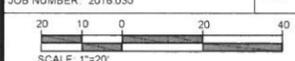
BOSTON PROPERTY DEVELOPMENT
 125 GREENLEAF STREET
 QUINCY, MA 02169

DATE: JULY 22, 2016

REVISED:

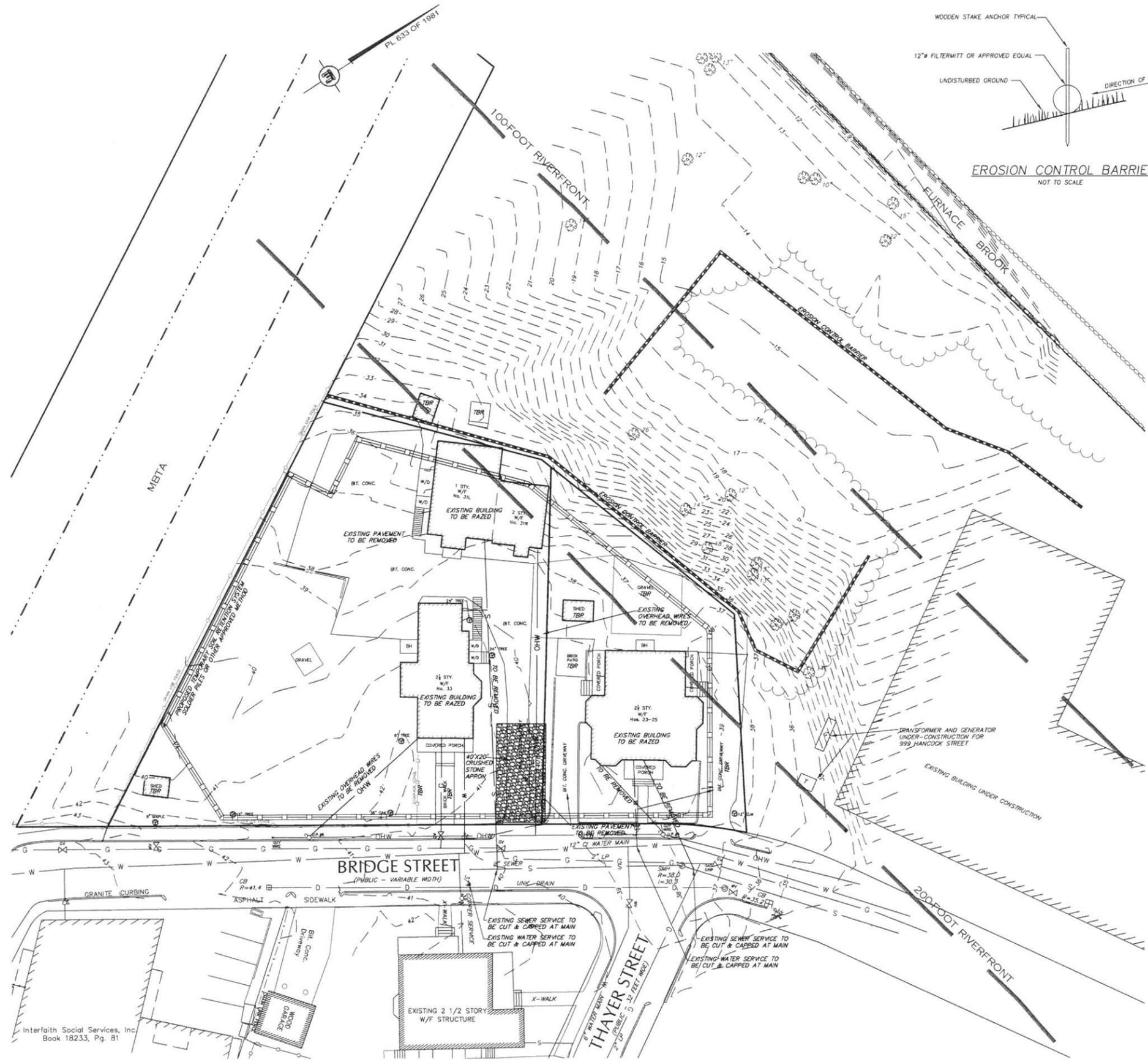
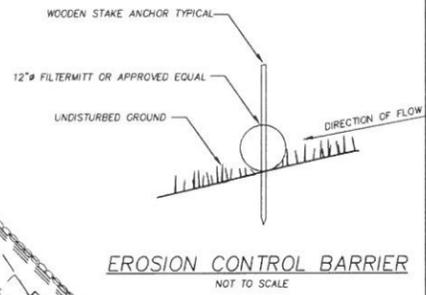
JOB NUMBER: 2016.030

SP-1



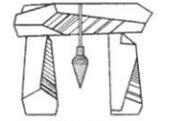
CONSTRUCTION SEQUENCING

1. A CONSTRUCTION SAFETY FENCE LIMITING ACCESS TO THE SITE SHALL BE PLACED AROUND THE PERIMETER OF THE PROPERTY TO MAKE IT SECURE.
2. CONTRACTOR TO PLACE EROSION CONTROL BARRIER AT LIMITS OF PROPERTY WHERE POSSIBLE PRIOR TO BUILDING REMOVAL. CONTRACTOR TO ALSO PLACE CRUSHED STONE APRON AT SITE EGRESS POINT TO MINIMIZE SEDIMENT TRANSPORT OFFSITE FROM CONSTRUCTION VEHICLE TIRES.
3. CONTRACTOR TO DEMOLISH EXISTING BUILDINGS AFTER ALL PREPARATIONS ARE MADE INCLUDING, BUT NOT LIMITED TO, UTILITY DISCONNECTS, INTERIOR DEMOLITION, HAZARDOUS WASTE REMOVAL, ETC. CONTRACTOR TO HAVE A WATER TRUCK ON HAND TO MINIMIZE FUGITIVE DUST. ALL DEBRIS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
4. THE REMAINING EROSION CONTROL DEVICES SHALL BE INSTALLED AT THE LIMITS OF THE PROPERTY AS SHOWN ON THE PLAN.
5. CONTRACTOR TO INSTALL TEMPORARY SOIL RETENTION SYSTEMS SUCH AS SOLDIER PILES OR APPROVED EQUAL TO PROTECT THE EXCAVATION FROM COLLAPSING.
6. STORMWATER CONTROL DEVICES SHALL BE INSTALLED IF EROSION CONTROL DEVICES DO NOT APPEAR TO CONTROL SAID RUNOFF.
7. THE FOUNDATION SHALL BE EXCAVATED AND CONSTRUCTED IN ACCORDANCE WITH THE APPROVED BUILDING PLANS. IF BACKFILL AND/OR STRUCTURAL FILL IS NEEDED TO BE STOCKPILED ONSITE THE CONTRACTOR SHALL PLACE THEM IN THE STOCKPILE AREA CONTAINED WITHIN EROSION CONTROL BARRIER.
8. VERTICAL CONSTRUCTION OF THE BUILDING SHALL PROCEED ONCE THE FOUNDATION IS INSTALLED. UTILITY CONNECTIONS FOR THE BUILDING SHALL BE INSTALLED ONE APPROVED BY UTILITY PURVEYORS.
9. ONCE HEAVY EQUIPMENT IS NO LONGER PROPOSED FOR USE ON THE SITE TO CONSTRUCT THE BUILDING THE UNDERGROUND STORMWATER RECHARGE FACILITIES CAN BE CONSTRUCTED ALONG WITH THE CATCH BASINS AND DRAIN MANHOLES. ONCE INSTALLED THE SITE CAN BE BACK FILLED AND ROUGH GRADED.
10. FINE GRADE THE SITE, PREPARE FOR PAVING AND PAVE THE SITE.
11. PROTECT THE CATCH BASIN INLETS DURING FINAL CONSTRUCTION.
12. LANDSCAPE THE PROPERTY.
13. PERFORM FINAL CLEANUP.



EXISTING:	PROPOSED:
— LOCUS PROPERTY LINE	— TREE LINE
— DRAIN MANHOLE	— SEWER MANHOLE
— CATCH BASIN	— STONEWALL
— GAS VALVE	— WATER VALVE
— UTILITY POLE	— NOW OR FORMERLY
— STONE BOUND	— IRON PIPE
— DRAIN PIPE	— WATER MAIN
— FIRE HYDRANT	— GAS MAIN
— UNDERGROUND POWER	— OVERHEAD WIRES
— SEWER PIPE	— CONTOUR
— POST AND RAIL FENCE	— CHAIN LINK FENCE
— WETLAND LINE	— WETLAND FLAG
— WETLAND SYMBOL	— SPOT GRADE
— EROSION CONTROL BARRIER	— SECURITY FENCE
— TO BE REMOVED	— CONIFEROUS TREE
— DECIDUOUS TREE	— FLARED END
— WATER QUALITY TANK	

DeCELLE



BURKE & Associates, Inc.
 1266 Furnace Brook Parkway, Suite 401 Quincy, MA 02169
 (617) 405-5100 (O) (617) 405-5101 (F)



JAMES W. BURKE, PE DATE

GENERAL NOTES

1. LOCUS: 23 BRIDGE STREET
 ASSESSORS MAP 1156 PLOT 4
 RECORD OWNER: MARY DEWARRENES
 DEED REFERENCE: BOOK 17676 PAGE 572
 31 BRIDGE STREET
 ASSESSORS MAP 1156 PLOT 2
 RECORD OWNER: CHARLES DEWARRENES
 DEED REFERENCE: BOOK 31665 PAGE 151
2. THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE IN JUNE 2016. ELEVATIONS SHOWN ON NAVD 88 DATUM.
3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25021C-0089F, DATED JUNE 09, 2014.
5. PARCEL IS ZONED BUS C.
 MIN. LOT AREA = 5,000 S.F.
 MIN. FRONTAGE = 50 FT.
 MIN. FRONT YARD = 0 FT.
 MIN. SIDE YARD = 0 FT.
 MIN. REAR YARD = 20 FT.
 MAX. STORIES = 6

WETLAND RESOURCE NOTES
 EXISTING 200 FOOT WETLAND RESOURCE AREA = 3,564 S.F.
 EXISTING IMPERVIOUS AREA IN 200 RIVERFRONT = 1,566 S.F.

PROJECT TITLE & LOCATION
SITE PLAN
 23 & 31 BRIDGE STREET
 QUINCY, MA 02169

PLAN TITLE:
CONSTRUCTION MANAGEMENT

PREPARED FOR:
BOSTON PROPERTY DEVELOPMENT
 125 GREENLEAF STREET
 QUINCY, MA 02169

DATE: JULY 22, 2016
 REVISED:
 JOB NUMBER: 2016.030

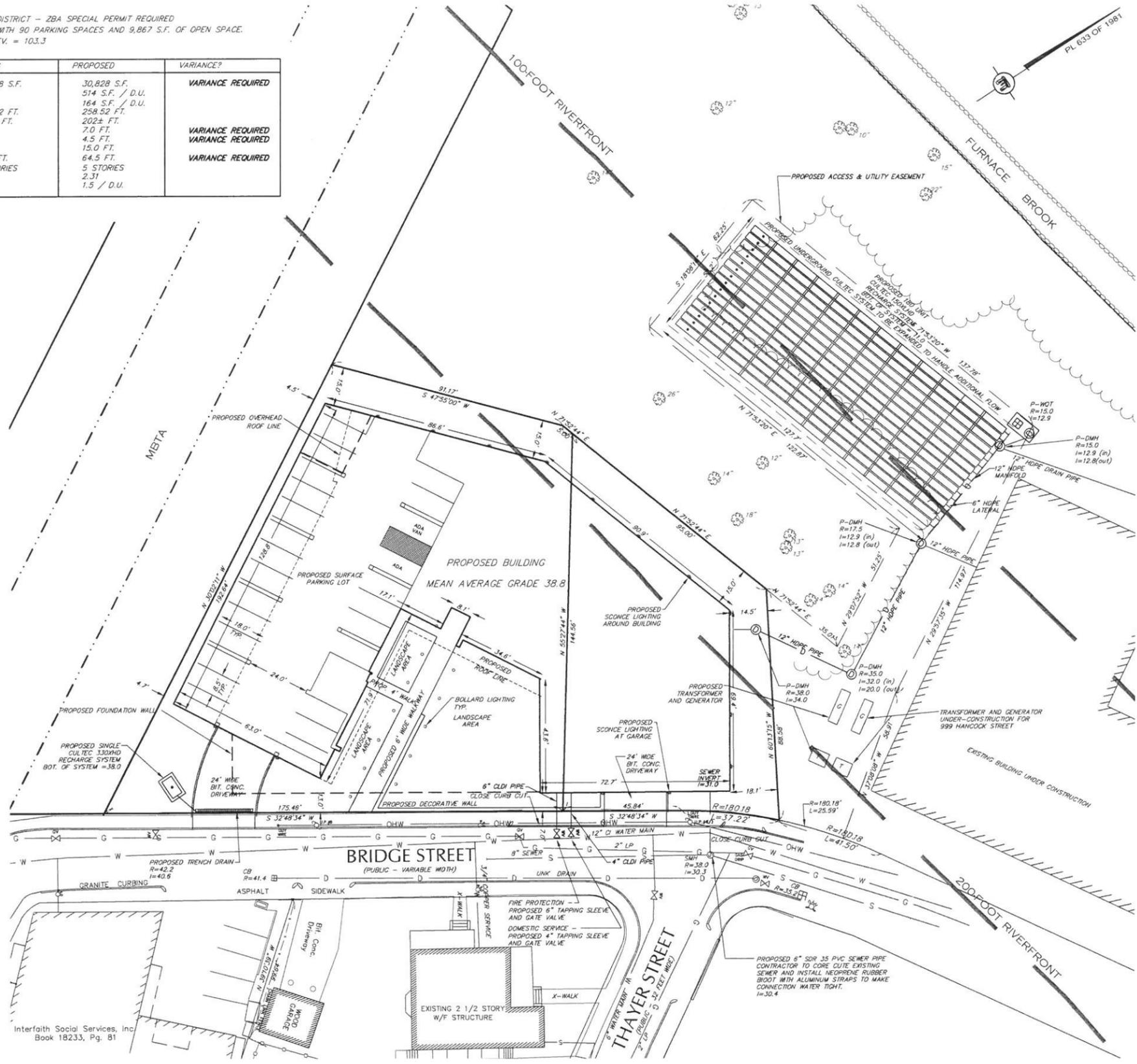
SCALE: 1"=20'

SP-2

ZONING SCHEDULE

LOT ZONING CLASSIFICATION : BUSINESS C (BUSC); HISTORIC OVERLAY DISTRICT - ZBA SPECIAL PERMIT REQUIRED
 PROPOSING A 18,460 S.F., FIVE STORY, 60 UNIT RESIDENTIAL BUILDING WITH 90 PARKING SPACES AND 9,867 S.F. OF OPEN SPACE.
 PROPOSED BUILDING AVG. EXISTING GRADE = 38.8, PROPOSED ROOF ELEV. = 103.3

	REQUIRED	EXISTING	PROPOSED	VARIANCE?
MINIMUM LOT SIZE	42,000 S.F.	30,828 S.F.	30,828 S.F.	VARIANCE REQUIRED
MIN. LOT AREA / DWELLING UNIT	500 S.F. / D.U.	N/A	514 S.F. / D.U.	
MIN. OPEN SPACE / DWELLING UNIT	100 S.F. / D.U.	N/A	164 S.F. / D.U.	
MINIMUM FRONTAGE	100 FT.	258.52 FT.	258.52 FT.	
MIN. LOT WIDTH	100 FT.	202± FT.	202± FT.	
MINIMUM FRONT YARD SETBACK	15.0' 1/4 BLDG HT.	FT.	7.0 FT.	VARIANCE REQUIRED
MINIMUM SIDE YARD SETBACK	15.0' 1/4 BLDG HT.	FT.	4.5 FT.	VARIANCE REQUIRED
MINIMUM REAR YARD SETBACK	15.0' 1/4 BLDG HT.	FT.	15.0 FT.	
MAX. BUILDING HEIGHT	60 FT.	30± FT.	64.5 FT.	VARIANCE REQUIRED
MAXIMUM NUMBER OF STORIES	6 STORIES	3 STORIES	5 STORIES	
MAXIMUM F.A.R.	3.5	0.15	2.31	
MIN. PARKING SPACES/DWELLING UNIT	1.5 / D.U.	N/A	1.5 / D.U.	



LEGEND:

EXISTING:	- LOCUS PROPERTY LINE	PROPOSED:	- TREE LINE
- TREE LINE	- DRAIN MANHOLE	- SEWER MANHOLE	- CATCH BASIN
- STONEWALL	- GAS VALVE	- WATER VALVE	- UTILITY POLE
- NOW OR FORMERLY	- STONE BOUND	- IRON PIPE	- DRAIN PIPE
- WATER MAIN	- FIRE HYDRANT	- GAS MAIN	- UNDERGROUND POWER
- OVERHEAD WIRES	- SEWER PIPE	- CONTOUR	- POST AND RAIL FENCE
- CHAIN LINK FENCE	- WETLAND LINE	- WETLAND FLAG	- WETLAND SYMBOL
- SPOT GRADE	- EROSION CONTROL BARRIER	- SECURITY FENCE	- TO BE REMOVED
- CONIFEROUS TREE	- DECIDUOUS TREE	- FLARED END	- WATER QUALITY TANK

DeCELLE

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CLAUDIO SALA, PLS DATE

GENERAL NOTES:

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 ASSESSORS MAP 1156 PLOT 4
 RECORD OWNER: MARY DEARENES
 DEED REFERENCE: BOOK 17676 PAGE 572
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 MIN. FRONT YARD = 0 FT.
 MIN. SIDE YARD = 0 FT.
 MIN. REAR YARD = 20 FT.
 MAX. STORIES = 6

WETLAND RESOURCE NOTES
 EXISTING 200 FOOT WETLAND RESOURCE AREA = 3,564 S.F.
 PROPOSED IMPERVIOUS AREA IN 200 RFRMFT = 1,276 S.F.

PROJECT TITLE & LOCATION
 SITE PLAN
 23 & 31 BRIDGE STREET
 QUINCY, MA 02169

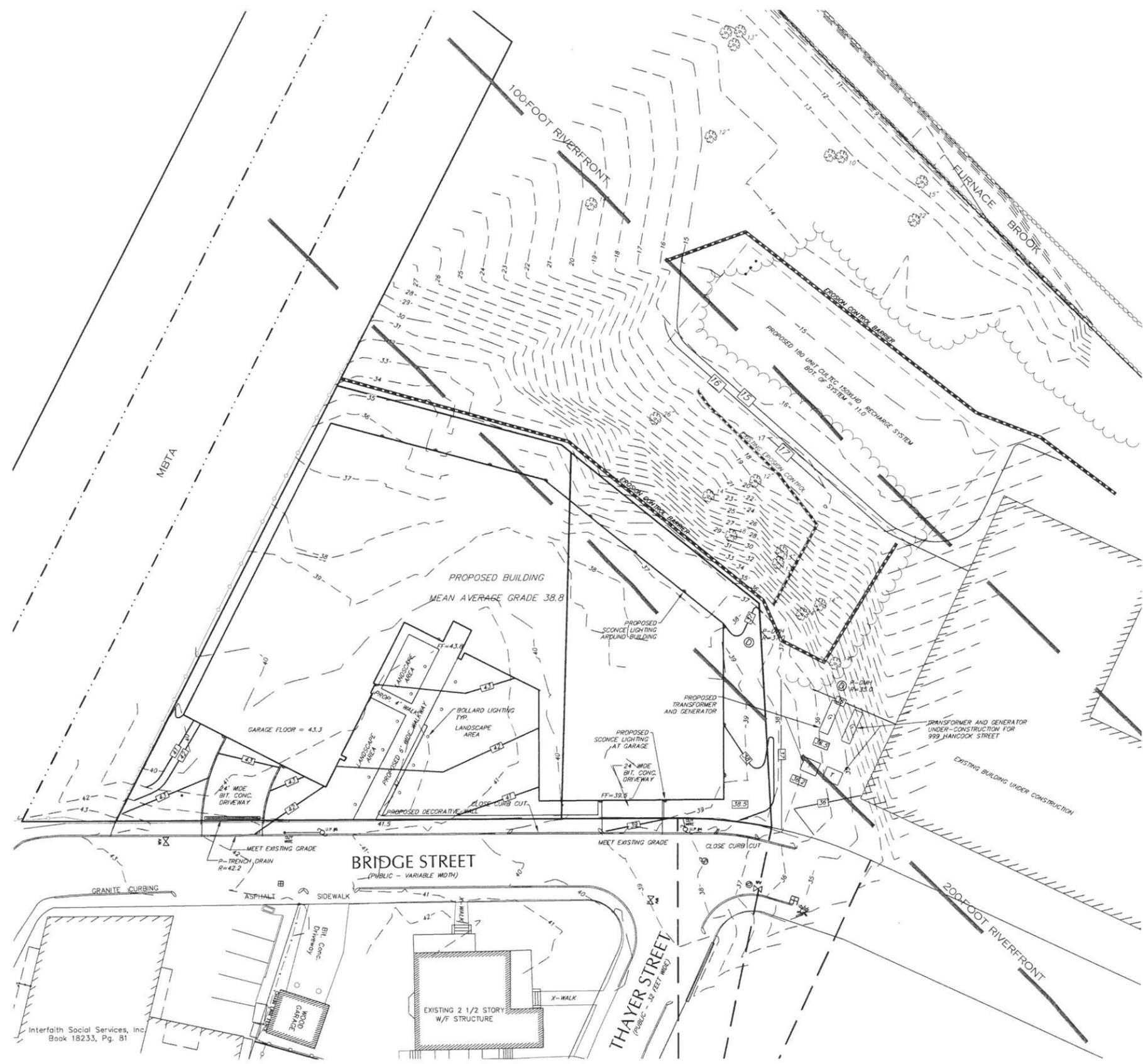
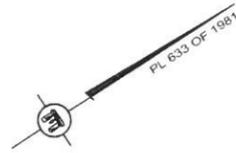
PLAN TITLE:
 LAYOUT & UTILITY

PREPARED FOR:
 BOSTON PROPERTY DEVELOPMENT
 125 GREENLEAF STREET
 QUINCY, MA 02169

DATE: JULY 22, 2016
REVISED:

JOB NUMBER: 2016.030 **SP-3**

SCALE: 1"=20'



LEGEND:

EXISTING:	PROPOSED:
— LOCUS PROPERTY LINE	— LOCUS PROPERTY LINE
— TREE LINE	— TREE LINE
— DRAIN MANHOLE	— DRAIN MANHOLE
— SEWER MANHOLE	— SEWER MANHOLE
— CATCH BASIN	— CATCH BASIN
— STONEWALL	— STONEWALL
— GAS VALVE	— GAS VALVE
— WATER VALVE	— WATER VALVE
— UTILITY POLE	— UTILITY POLE
— NOW OR FORMERLY	— NOW OR FORMERLY
— STONE BOUND	— STONE BOUND
— IRON PIPE	— IRON PIPE
— DRAIN PIPE	— DRAIN PIPE
— WATER MAIN	— WATER MAIN
— FIRE HYDRANT	— FIRE HYDRANT
— GAS MAIN	— GAS MAIN
— UNDERGROUND POWER	— UNDERGROUND POWER
— OVERHEAD WIRES	— OVERHEAD WIRES
— SEWER PIPE	— SEWER PIPE
— CONTOUR	— CONTOUR
— POST AND RAIL FENCE	— POST AND RAIL FENCE
— CHAIN LINK FENCE	— CHAIN LINK FENCE
— WETLAND LINE	— WETLAND LINE
— WETLAND FLAG	— WETLAND FLAG
— WETLAND SYMBOL	— WETLAND SYMBOL
— SPOT GRADE	— SPOT GRADE
— EROSION CONTROL BARRIER	— EROSION CONTROL BARRIER
— SECURITY FENCE	— SECURITY FENCE
— TO BE REMOVED	— TO BE REMOVED
— CONIFEROUS TREE	— CONIFEROUS TREE
— DECIDUOUS TREE	— DECIDUOUS TREE
— FLARED END	— FLARED END
— WATER QUALITY TANK	— WATER QUALITY TANK

Interfaith Social Services, Inc.
Book 18233, Pg. 81

DeCELLE

BURKE & Associates, Inc.
 1266 Furnace Brook Parkway, Suite 401 Quincy, MA 02169
 (617) 405-5100 (O) (617) 405-5101 (F)



JAMES W. BURKE, PE DATE

GENERAL NOTES:

- LOCUS: 23 BRIDGE STREET
 ASSESSORS MAP 1156 PLOT 4
 RECORD OWNER: MARY DEVARANNES
 DEED REFERENCE: BOOK 17676 PAGE 572
 31 BRIDGE STREET
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- THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25021C-0069F, DATED JUNE 09, 2014.
- PARCEL IS ZONED BUS C.
 MIN. LOT AREA = 5,000 S.F.
 MIN. FRONTAGE = 50 FT.
 MIN. FRONT YARD = 0 FT.
 MIN. SIDE YARD = 0 FT.
 MIN. REAR YARD = 20 FT.
 MAX. STORES = 6

WETLAND RESOURCE NOTES:
 EXISTING 200 FOOT WETLAND RESOURCE AREA = 3,564 S.F.
 PROPOSED IMPERVIOUS AREA IN 200 RIVERFRONT = 1,276 S.F.

PROJECT TITLE & LOCATION
 SITE PLAN
 23 & 31 BRIDGE STREET
 QUINCY, MA 02169

PLAN TITLE
 GRADING

PREPARED FOR:
 BOSTON PROPERTY DEVELOPMENT
 125 GREENLEAF STREET
 QUINCY, MA 02169

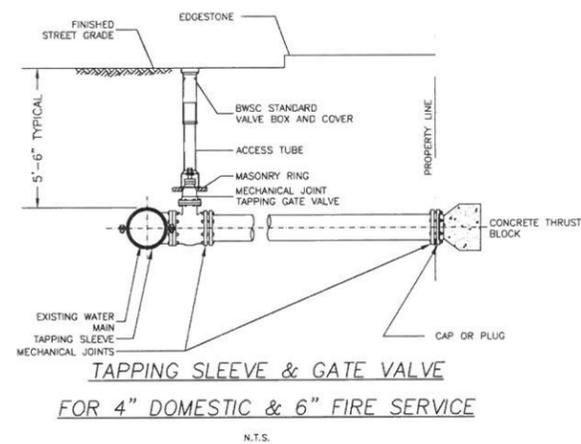
DATE: JULY 22, 2016
REVISED:

JOB NUMBER: 2016.030

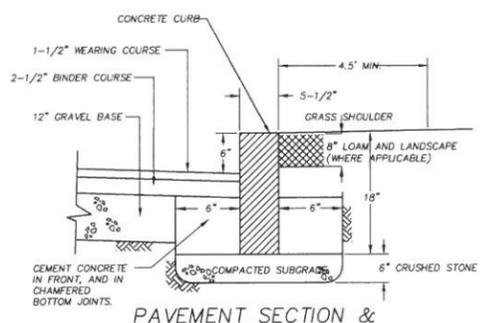
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SP-4

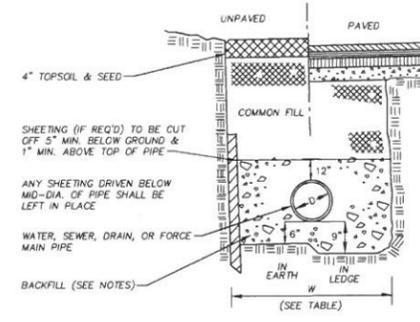
NOTES:
 - CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
 - USE RESTRAINED JOINT FITTINGS (MEGALUG OR APPROVED EQUAL) WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
 - SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.



TAPPING SLEEVE & GATE VALVE FOR 4" DOMESTIC & 6" FIRE SERVICE
 N.T.S.



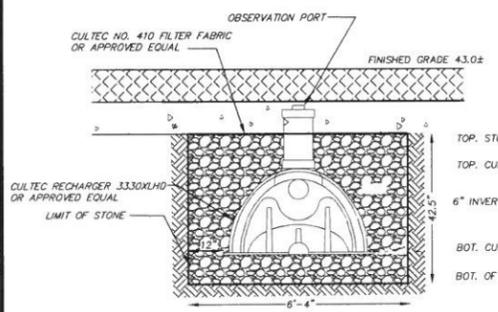
PAVEMENT SECTION & CONCRETE CURB DETAIL
 N.T.S.



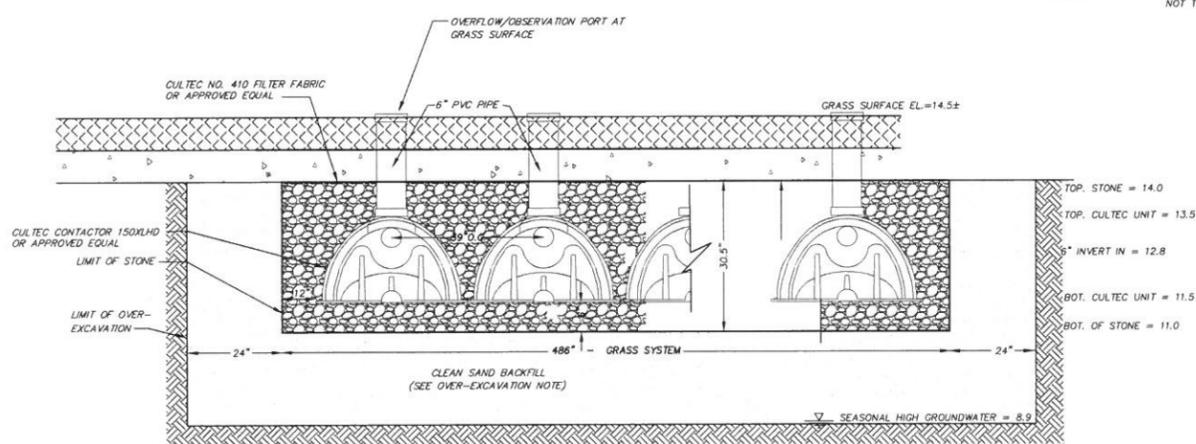
TRENCH WIDTH		
D	W UNSHEEDED	W SHEEDED
TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'

NOTES:
 1. ALL TRENCH CONSTRUCTION TO CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
 2. COMPACT FILL AND TAMP PIPE TO 93% MAX. DENSITY UNLESS OTHERWISE SPECIFIED.

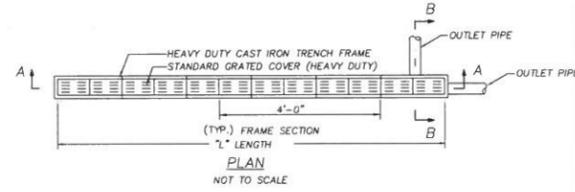
TYPICAL TRENCH SECTIONS
 NOT TO SCALE



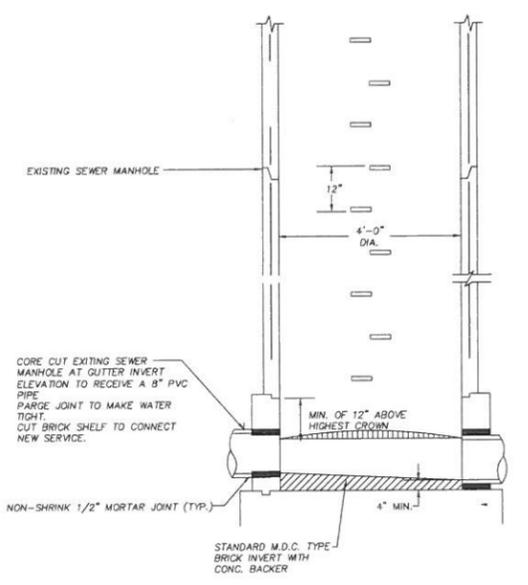
CULTEC CHAMBER TYPICAL SECTION FOR UPPER DRIVEWAY
 NOT TO SCALE



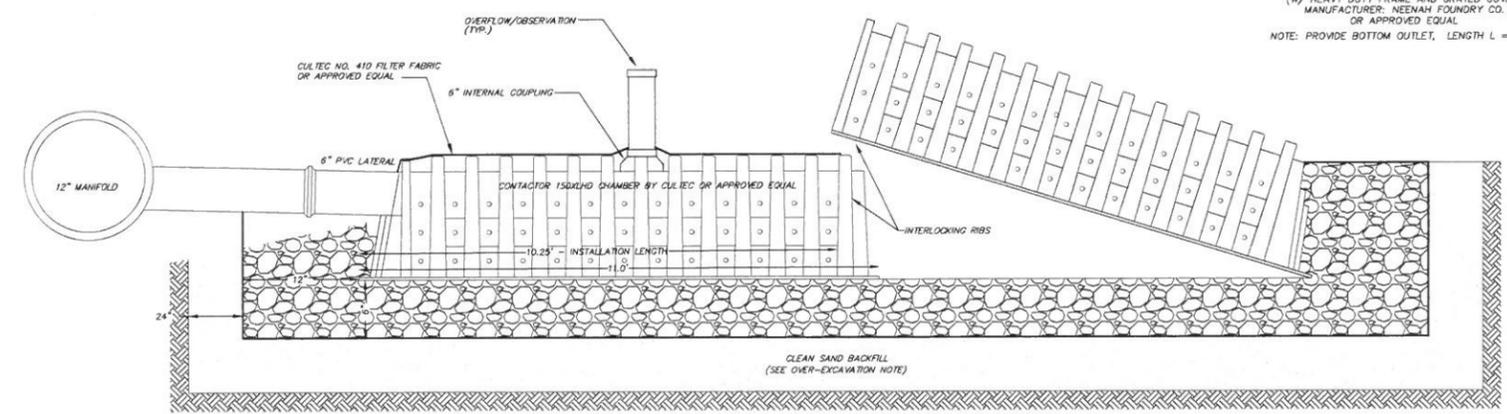
CULTEC CHAMBER TYPICAL SECTION
 NOT TO SCALE



TRENCH DRAIN DETAIL
 (W/ HEAVY DUTY FRAME AND GRATED COVER)
 MANUFACTURER: NEEHAH FOUNDRY CO. OR APPROVED EQUAL
 NOTE: PROVIDE BOTTOM OUTLET, LENGTH L = 20'-0"



SEWER MANHOLE CONNECTION
 NOT TO SCALE



OVER-EXCAVATION NOTES:
 THE CONTRACTOR SHALL REMOVE ALL TOPSOIL, SUBSOIL AND OTHER DELETERIOUS MATERIAL WITHIN 24" OF THE LIMIT OF THE STONE SURROUNDING THE CULTEC UNIT AS INDICATED ON THE PLANS.
 THE REMOVED SOIL SHALL BE DISPOSED OF IN A LEGAL MANNER.
 THE REMOVED SOIL SHALL BE REPLACED WITH CLEAN GRANULAR SAND CONFORMING TO THE FOLLOWING SIEVE ANALYSIS:

% PASSING	SIEVE SIZE	#
100	100	#4
10-100	#50	
0-20	#100	
0-5	#200	

OBSERVATION PORT INSTALLATION NOTES:
 CONTRACTOR TO CUT 6" HOLE AT TOP OF CHAMBER IN THE CENTER OF THE UNIT.
 INSERT A 6" INTERNAL COUPLING INTO INSPECTION PORT OPENING.
 USE A 6" SCH.40 PVC PIPE TO BRING INSPECTION PORT TO WITHIN 5" OF FINISHED GRADE.
 INSTALL A 6" SCH.40 END CAP OR PLUG.
 BACKFILL IN ACCORDANCE WITH SPECIFICATIONS.

CULTEC CHAMBER INSTALLATION NOTES:
 CONTRACTOR TO INSTALL CULTEC CHAMBERS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
 CULTEC NO. 410 FILTER FABRIC OR APPROVED EQUAL TO BE PLACED OVER THE TOP OF THE DRAINAGE SYSTEM PRIOR TO BACKFILL.
 CONTRACTOR TO REMOVE ALL LOAM, SUBSOIL AND ALL DELETERIOUS MATERIAL FROM EXCAVATION PRIOR TO PLACEMENT OF THE STONE BED.

LARGE CULTEC CHAMBER TYPICAL PROFILE
 N.T.S.



BURKE & Associates, Inc.
 1266 Furnace Brook Parkway, Suite 401 Quincy, MA 02169
 (617) 405-5100 (O) (617) 405-5101 (F)



JAMES W. BURKE, PE DATE

GENERAL NOTES:
 1. LOCUS: 23 BRIDGE STREET
 ASSESSORS MAP 1156 PLOT 4
 RECORD OWNER: MARY DEVAENNES
 DEED REFERENCE: BOOK 17676 PAGE 572
 31 BRIDGE STREET
 ASSESSORS MAP 1156 PLOT 2
 RECORD OWNER: CHARLES DEVAENNES
 DEED REFERENCE: BOOK 31665 PAGE 151

2. THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE IN JUNE 2016. ELEVATIONS SHOWN ON NAVD 88 DATUM.
 3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.

DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL: 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.

4. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 250221C-0069F, DATED JUNE 09, 2014.
 5. PARCEL IS ZONED BUS C.
 MIN. LOT AREA = 5,000 S.F.
 MIN. FRONTAGE = 60 FT.
 MIN. FRONT YARD = 0 FT.
 MIN. SIDE YARD = 0 FT.
 MIN. REAR YARD = 20 FT.
 MAX. STORES = 6

WETLAND RESOURCE NOTES:
 EXISTING 200 FOOT WETLAND RESOURCE AREA = 3,564 S.F.
 PROPOSED IMPERVIOUS AREA IN 200 RIVERFRONT = 1,276 S.F.

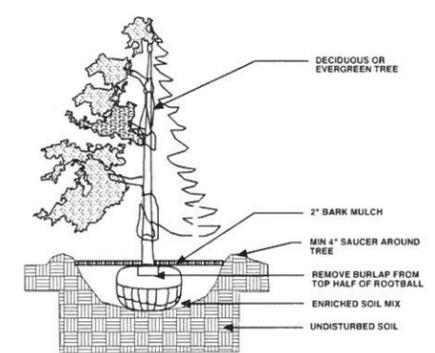
PROJECT TITLE & LOCATION
 SITE PLAN
 23 & 31 BRIDGE STREET
 QUINCY, MA 02169

PLAN TITLE
 CONSTRUCTION DETAILS

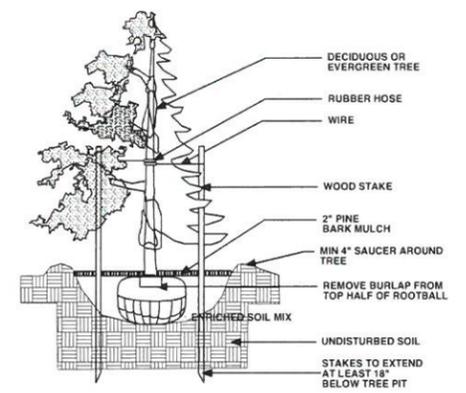
PREPARED FOR:
 BOSTON PROPERTY DEVELOPMENT
 125 GREENLEAF STREET
 QUINCY, MA 02169

DATE: JULY 22, 2016
REVISED:

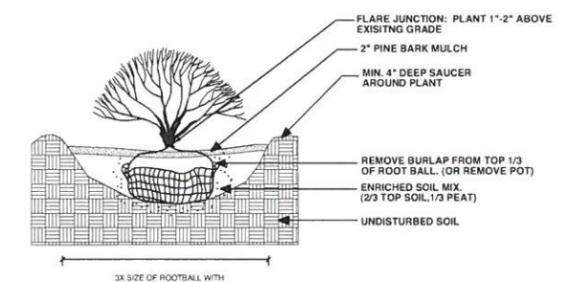
JOB NUMBER: 2016 030
SCALE: 1"=20'
SP-5



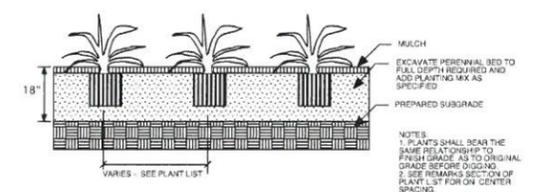
○ TREE PLANTING (WITHOUT STAKES)
N.T.S.



○ TREE PLANTING (WITH STAKES)
N.T.S.



○ SHRUB PLANTING
N.T.S.



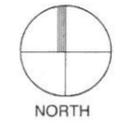
○ PERENNIAL AND ORNAMENTAL GRASS BED PLANTING
N.T.S.

SCHEMATIC PLANTING PLAN

SCALE: 1" = 20'

LIST OF PLANTS TO BE USED ON THIS PROJECT - THESE PLANTS ARE ALL NATIVE SPECIES EXCEPT FOR THE EUROPEAN DUNE GRASS

#	Botanical Name	Common Name	Size	Condition	Notes
EVERGREEN TREES					
	Abies fraseri	Fraser Fir	7-8'	B & B	
	Pinus strobus	Eastern White Pine	7-8'	B & B	
	Thuja occidentalis 'Techny'	Mission Arborvitae	5-6'	B & B	
SMALL STREET TREES					
	Nyssa sylvatica	Black Gum	3 - 3 1/2" cal	B & B	
FLOWERING TREES					
	Magnolia virginiana	Sweetbay Magnolia	3 - 3 1/2" cal.	B & B	
ORNAMENTAL SHRUBS					
	Leucothos axillaris	Coast Leucothoe	2 - 2 1/2'	B & B	
	Pieris floribunda	Mountain Andromeda	2 - 2 1/2'	B & B	
	Ilex glabra 'Densa'	Dence Inkberry	2 - 2 1/2'	B & B	
	Ilex glabra 'Compacta'	Dwarf Inkberry	2 - 2 1/2'	B & B	
	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	2 - 2 1/2'	C.G.	
PERENNIALS AND VINES					
	Lymus x 'Blue Dune'	Blue Dune European Grass	#1 pot	C.G.	24" o.c.
	Rudbeckia fulgida 'Goldsturm'	Black-eyed Susan	#1 pot	C.G.	18" o.c.
	Monarda	Bee Balm	#1 pot	C.G.	18" o.c.



23 - 31 BRIDGE STREET
QUINCY, MASSACHUSETTS

SCHEMATIC PLANTING PLAN

MKA Landscape Architects
Landscape Architecture and Planning
1700 Wellington Street
Dighton, MA 02715
Phone: (508) 496-7750
Email: mka@mka-la.com

DATE: 07-26-16
SCALE: 1" = 20'

LA-1

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 O: 617.472.5100

23-31 BRIDGE STREET
 23-31 BRIDGE STREET, QUINCY, MA
SITE PLAN REVIEW
 JULY 27, 2016

REVISIONS

NO.	DESCRIPTION

DRAWING INFORMATION

ISSUE:	SITE PLAN REVIEW
DATE:	JULY 27, 2016
PROJECT #:	14054
DRAWN BY:	EMBARC
SCALE:	1/8" = 1'-0"

DRAWING TITLE
 LEVEL 1 FLOOR PLAN

DRAWING NUMBER

A100



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 O: 617.472.5100

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SITE PLAN REVIEW
 JULY 27, 2016

REVISIONS

NO.	DESCRIPTION

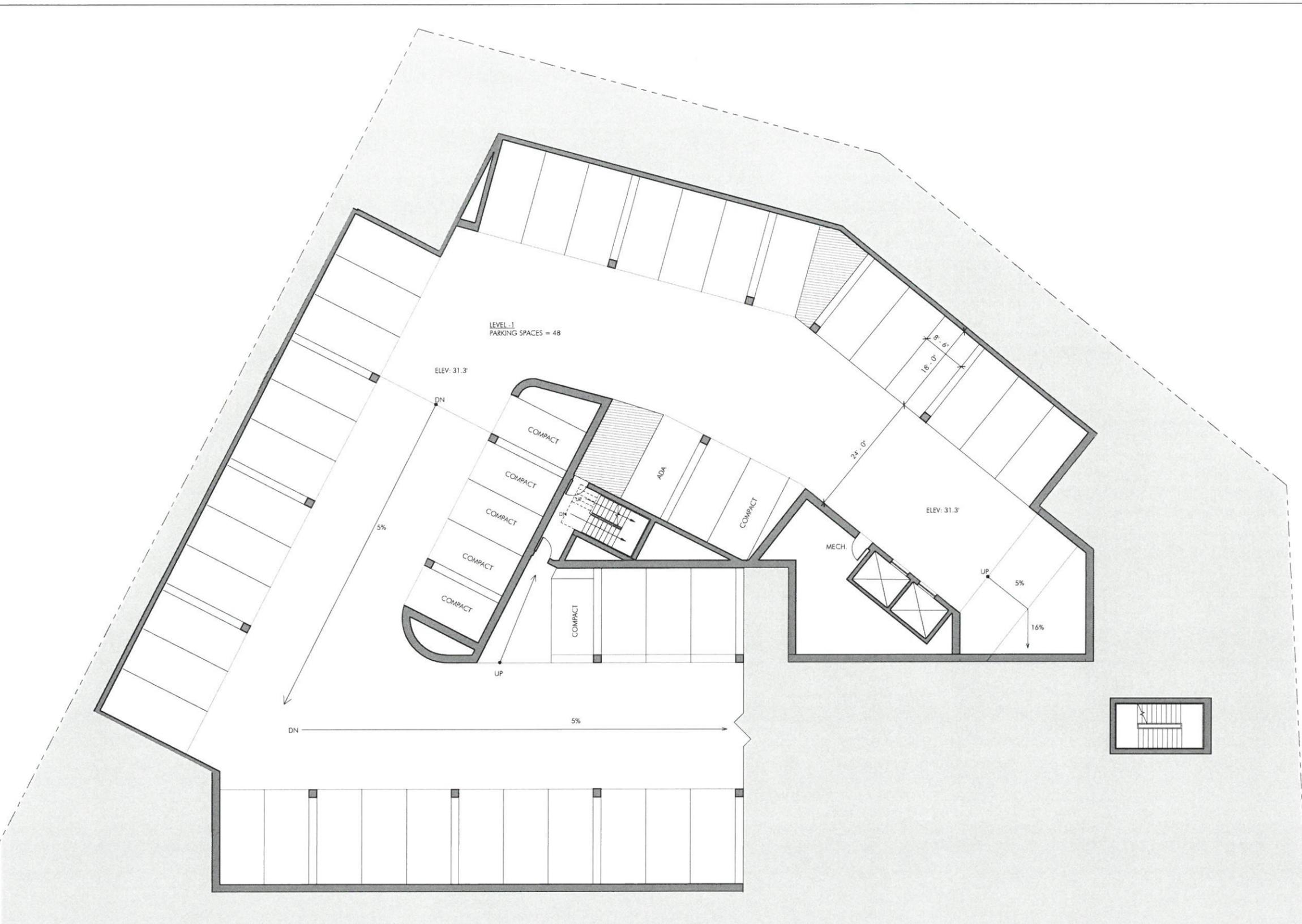
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ISSUE:	SITE PLAN REVIEW
DATE:	JULY 27, 2016
PROJECT #:	16054
DRAWN BY:	EMBARC
SCALE:	1/8" = 1'-0"

DRAWING TITLE
PARKING LEVEL -1 FLOOR PLAN

DRAWING NUMBER
A101

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1 PARKING LEVEL -1 FLOOR PLAN
 1/8" = 1'-0"

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O: 617.472.5100

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23-31 BRIDGE STREET, QUINCY, MA
SITE PLAN REVIEW
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DATE: JULY 27, 2016
PROJECT # 16054
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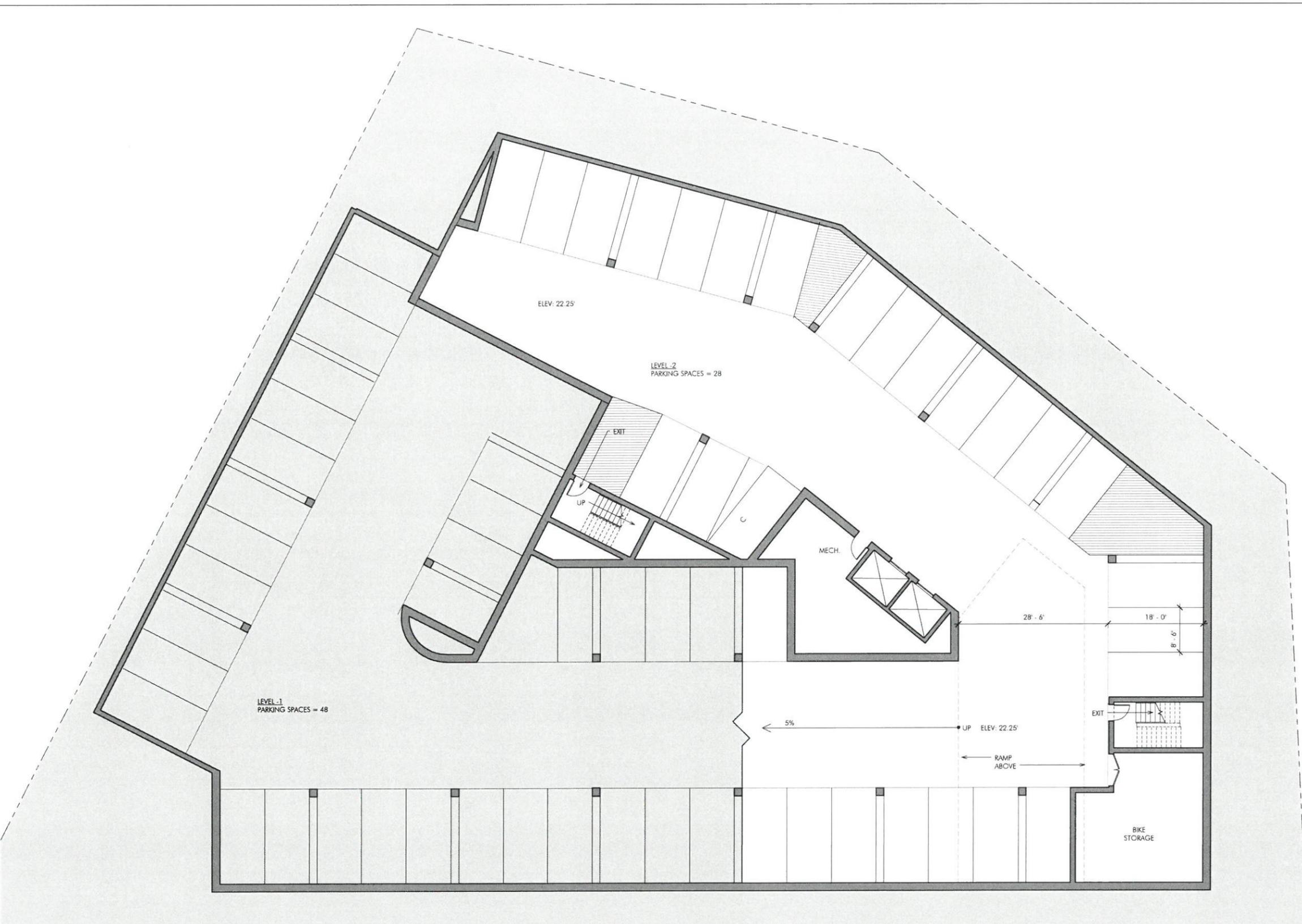
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PARKING LEVEL -2 FLOOR PLAN

DRAWING NUMBER

A102

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1 PARKING LEVEL -2 FLOOR PLAN
1/8" = 1'-0"

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 REAL ESTATE
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SITE PLAN REVIEW
 JULY 27, 2016

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DATE:	JULY 27, 2016
PROJECT #:	14054
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SCALE:	1/8" = 1'-0"

DRAWING TITLE
 TYPICAL FLOOR PLAN

DRAWING NUMBER
A103

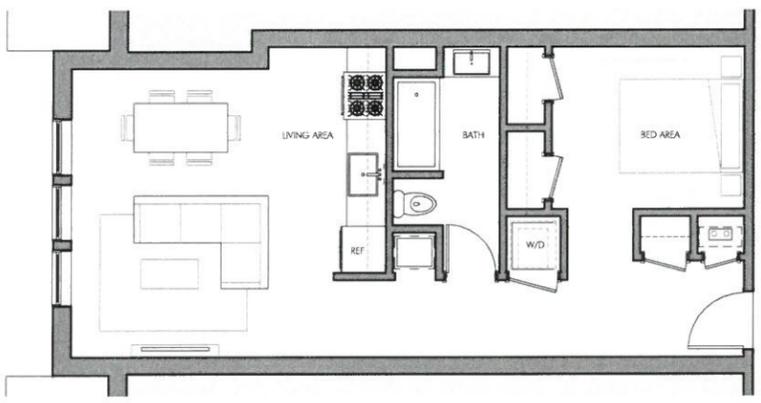


1 TYPICAL FLOOR PLAN
 1/8" = 1'-0"

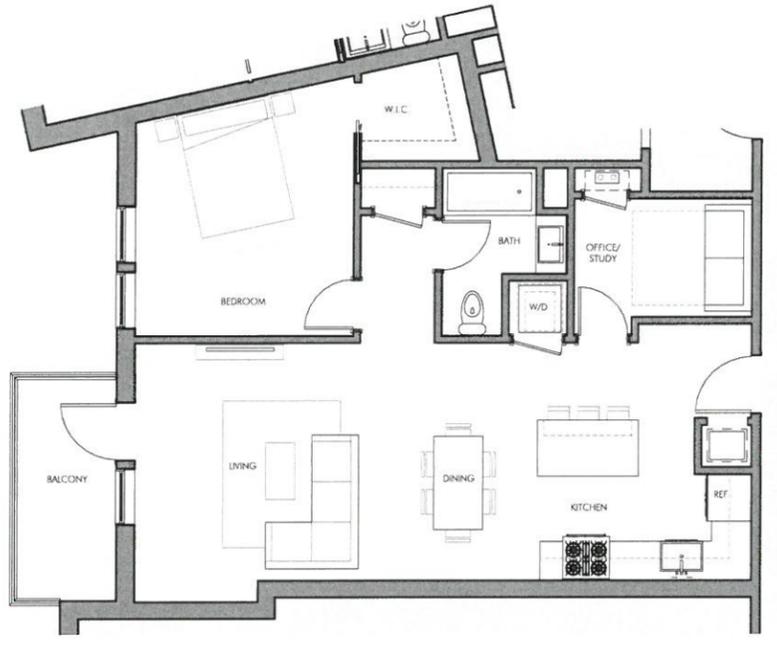
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	STUDIO	1 BED	1 BED +	2 BED	2 BED +
LEVEL 1	1		1	2	
LEVEL 2	1		5	7	1
LEVEL 3	1		5	7	1
LEVEL 4	1		5	7	1
LEVEL 5	1		5	7	1

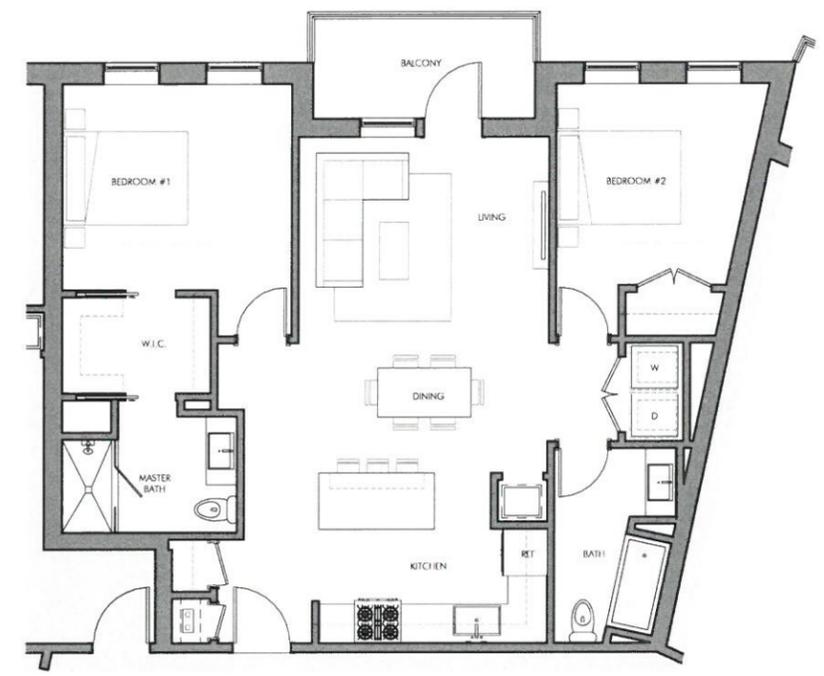
TOTAL = 60 UNITS



1 UNIT 213 (STUDIO) 655 GSF
1/4" = 1'-0"



2 UNIT 214 (1 BED +) 815 GSF
1/4" = 1'-0"



3 UNIT 202 (2 BED) 1,055 GSF
1/4" = 1'-0"



4 UNIT 203 (2 BED +) 1,200 GSF
1/4" = 1'-0"

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23-31 BRIDGE STREET
23-31 BRIDGE STREET, QUINCY, MA
SITE PLAN REVIEW
JULY 27, 2016

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DRAWING TITLE
TYPICAL UNIT PLANS

DRAWING NUMBER
A104

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OWNER
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 O: 617.472.5100

23-31 BRIDGE STREET
 23-31 BRIDGE STREET, QUINCY, MA
SITE PLAN REVIEW
 JULY 27, 2016

REVISIONS

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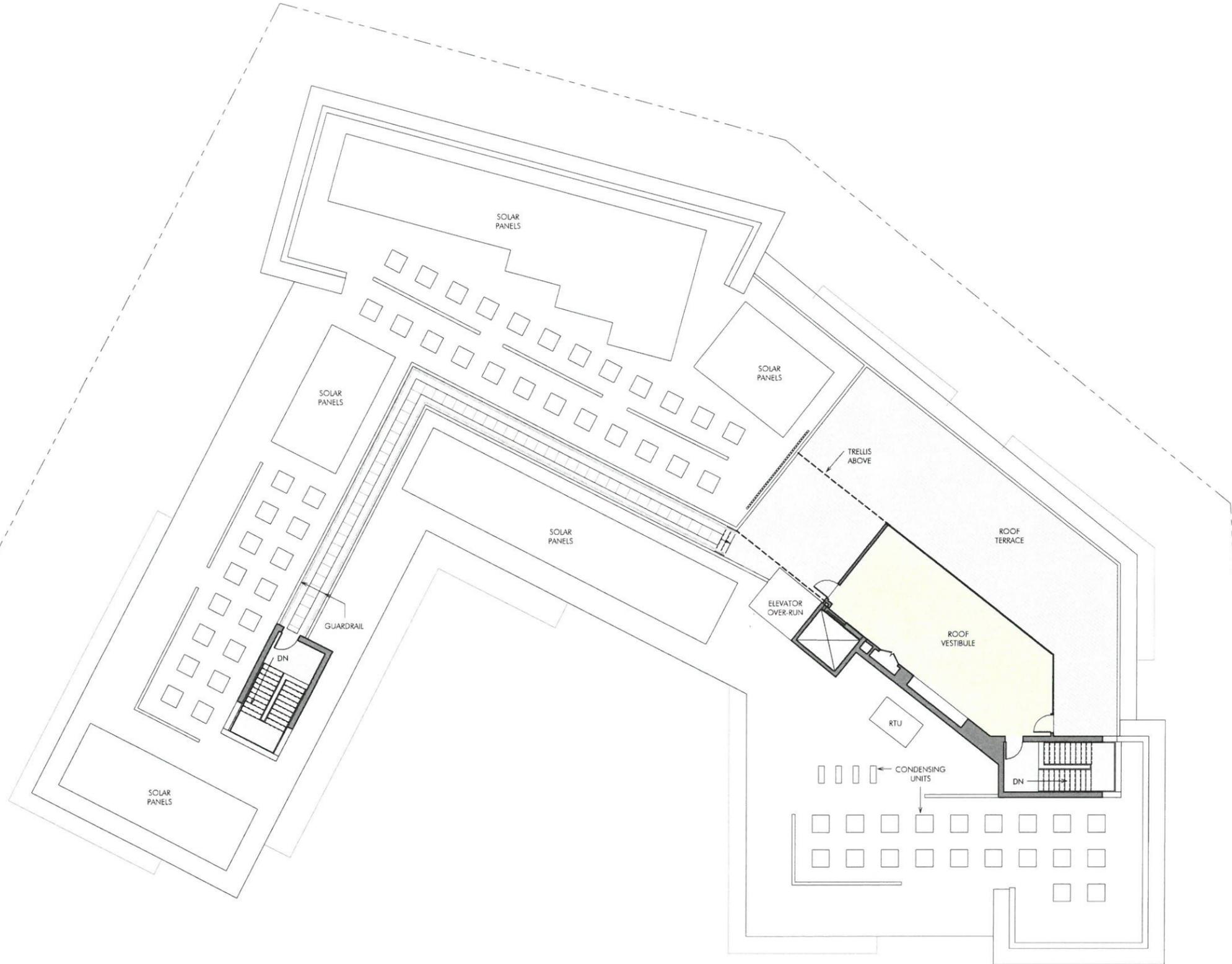
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DATE:	JULY 27, 2016
PROJECT #:	14054
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SCALE:	1/8" = 1'-0"

DRAWING TITLE
 ROOF PLAN

DRAWING NUMBER
A105

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1 ROOF PLAN
 1/8" = 1'-0"

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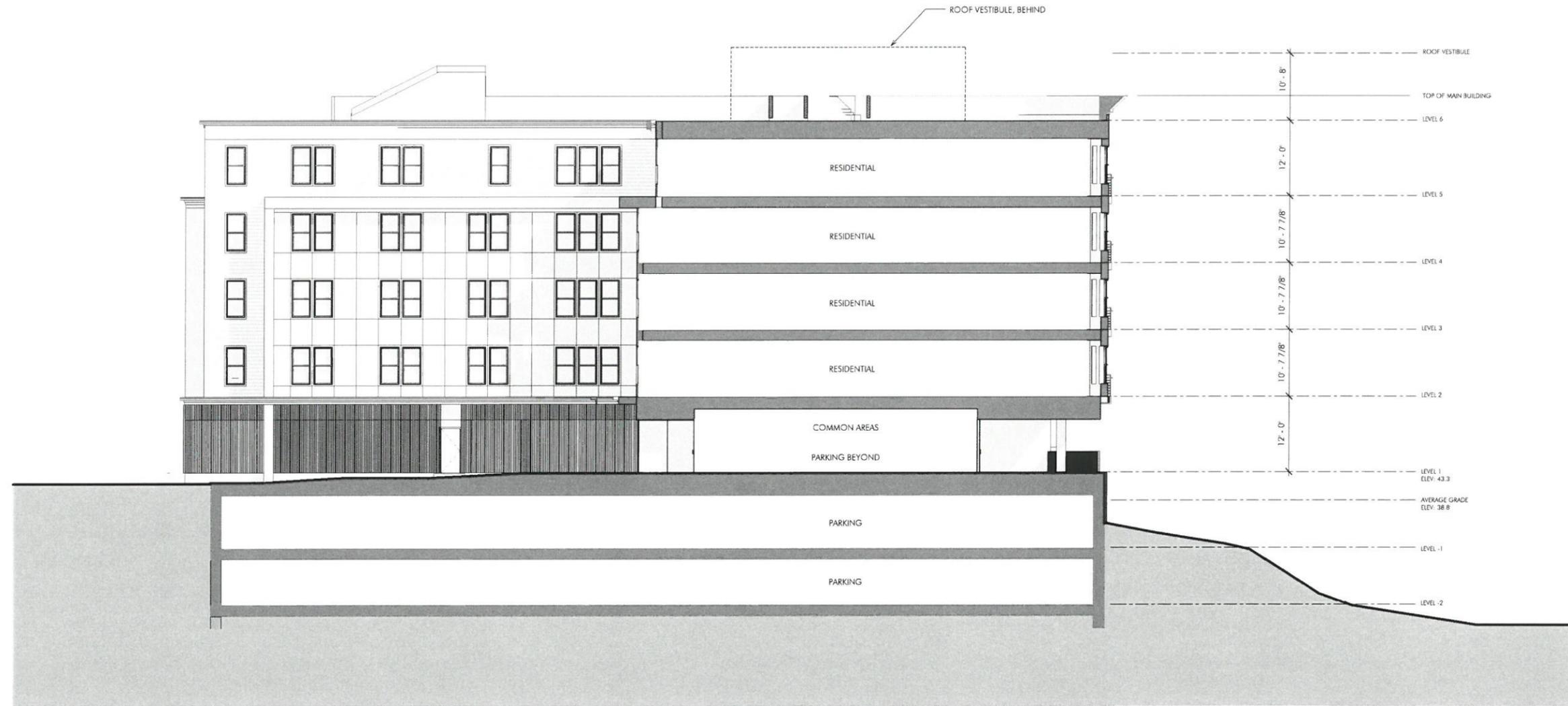
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 508.476.7750

ATTORNEY
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 617.472.5100



1 BUILDING SECTION A
 1/8" = 1'-0"

23-31 BRIDGE STREET
 23-31 BRIDGE STREET, QUINCY, MA
SITE PLAN REVIEW
 JULY 27, 2016

REVISIONS

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DRAWING TITLE
BUILDING SECTION

DRAWING NUMBER
A300

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1 WEST (NEWPORT AVE) ELEVATION
1/8" = 1'-0"



2 SOUTH (BRIDGE ST) ELEVATION
1/8" = 1'-0"

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23-31 BRIDGE STREET
23-31 BRIDGE STREET, QUINCY, MA
SITE PLAN REVIEW
JULY 27, 2016

REVISIONS

NO.	DATE	DESCRIPTION

DRAWING INFORMATION

ISSUE: SITE PLAN REVIEW
DATE: JULY 27, 2016
PROJECT # 16054
DRAWN BY: EMBARC
SCALE: 1/8" = 1'-0"

DRAWING TITLE

ELEVATIONS

DRAWING NUMBER

A400

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1 EAST ELEVATION
1/8" = 1'-0"



2 NORTH (REAR) ELEVATION
1/8" = 1'-0"

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VIEW FROM BRIDGE STREET

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ARCHITECTURE + DESIGN

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ILLUSTRATIVE
RENDERING

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A600

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VIEW FROM NEWPORT AVENUE

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ILLUSTRATIVE
RENDERING

DRAWING NUMBER
A601

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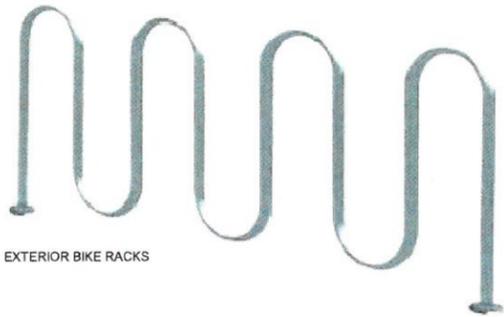
GREEN BUILDING TECHNIQUES



WHITE MEMBRANE ROOF



SOLAR PANELS



EXTERIOR BIKE RACKS



INTERIOR BIKE STORAGE RACKS

EXTERIOR LIGHTING



LIGHT COLUMN BOLLARD

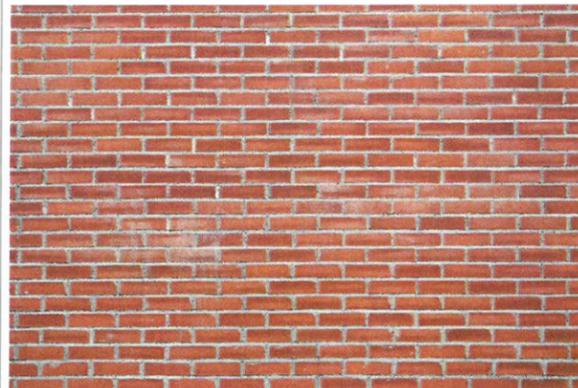


EXTERIOR WALL SCONCE

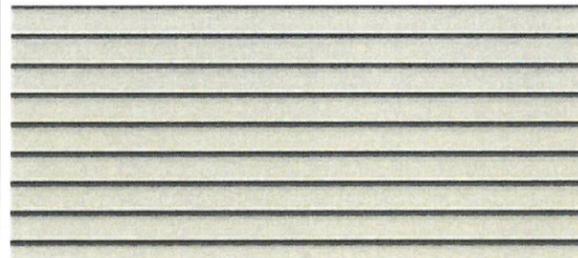


RECESSED GROUND UPLIGHT AND SOFFIT DOWNLIGHT

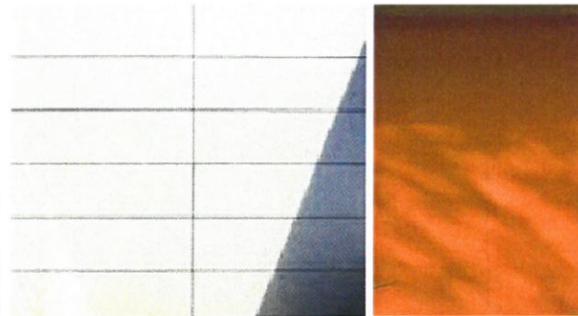
FACADE MATERIALS



BRICK



FIBER CEMENT CLAPBOARD



FIBER CEMENT PANELS



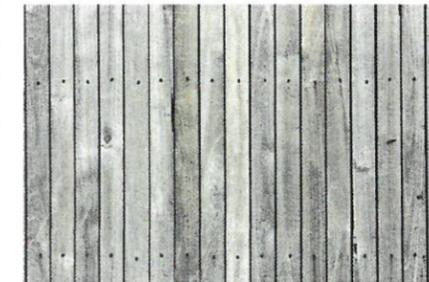
NATURAL WOOD SLAT WALL



DOUBLE-HUNG WINDOWS AND DOORS, BOTH WITH ENERGY STAR RATING



CONCRETE PAVING AND RETAINING WALL



NATURAL WOOD DECKING

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A602

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TRIPLE 9 HILLSIDE



WEST ELEVATION (NEWPORT AVE) NOT TO SCALE



SOUTH ELEVATION (BRIDGE ST) NOT TO SCALE

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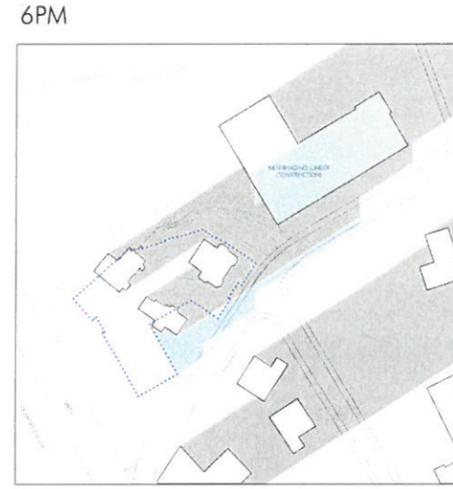
A603

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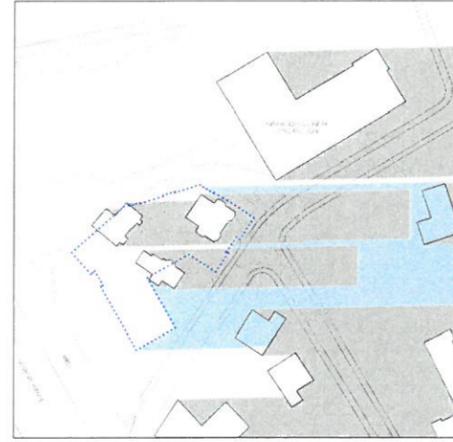
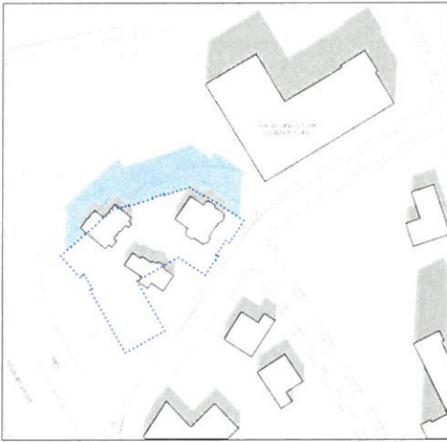


 PROPOSED
 EXISTING

WINTER SOLSTICE



FALL/SPRING EQUINOX



SUMMER SOLSTICE



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DRAWING TITLE
 SUN AND SHADOW STUDY

DRAWING NUMBER
A700