

# CLEVERLY ESTATES

## 60 CLEVERLY COURT

### QUINCY, MASSACHUSETTS

FEBRUARY 26, 2016

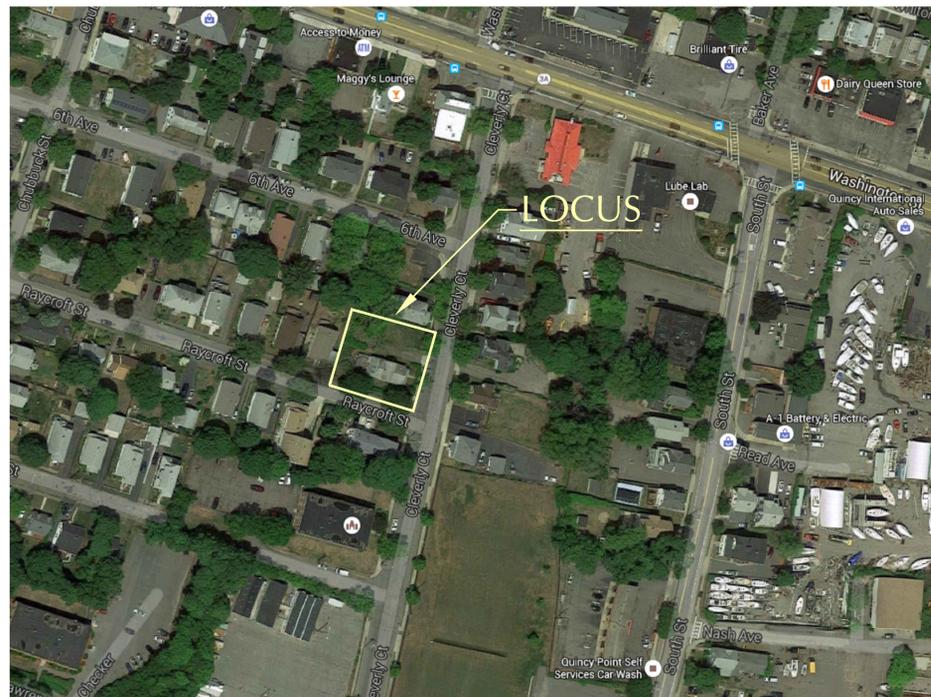


IMAGE FROM 2016 GOOGLE MAPS

LOCUS AERIAL  
NTS

#### APPLICANT

JOSEPH TAYLOR  
147 BEALE STREET  
QUINCY, MA 02169

#### CIVIL/SURVEY

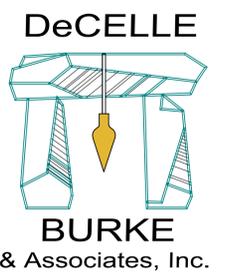
DECELLE-BURKE & ASSOCIATES  
1266 FURNACE BROOK PARKWAY, SUITE 401  
QUINCY, MA 02169

#### SHEETS

- 1 COVER SHEET
- 2 EXISTING CONDITIONS &  
CONSTRUCTION MANAGEMENT
- 3 GRADING PLAN &  
LAYOUT & UTILITIES
- 4 CONSTRUCTION DETAILS



REVISIONS:		
No.	DATE	
1	6/1/16	PEER REVIEW



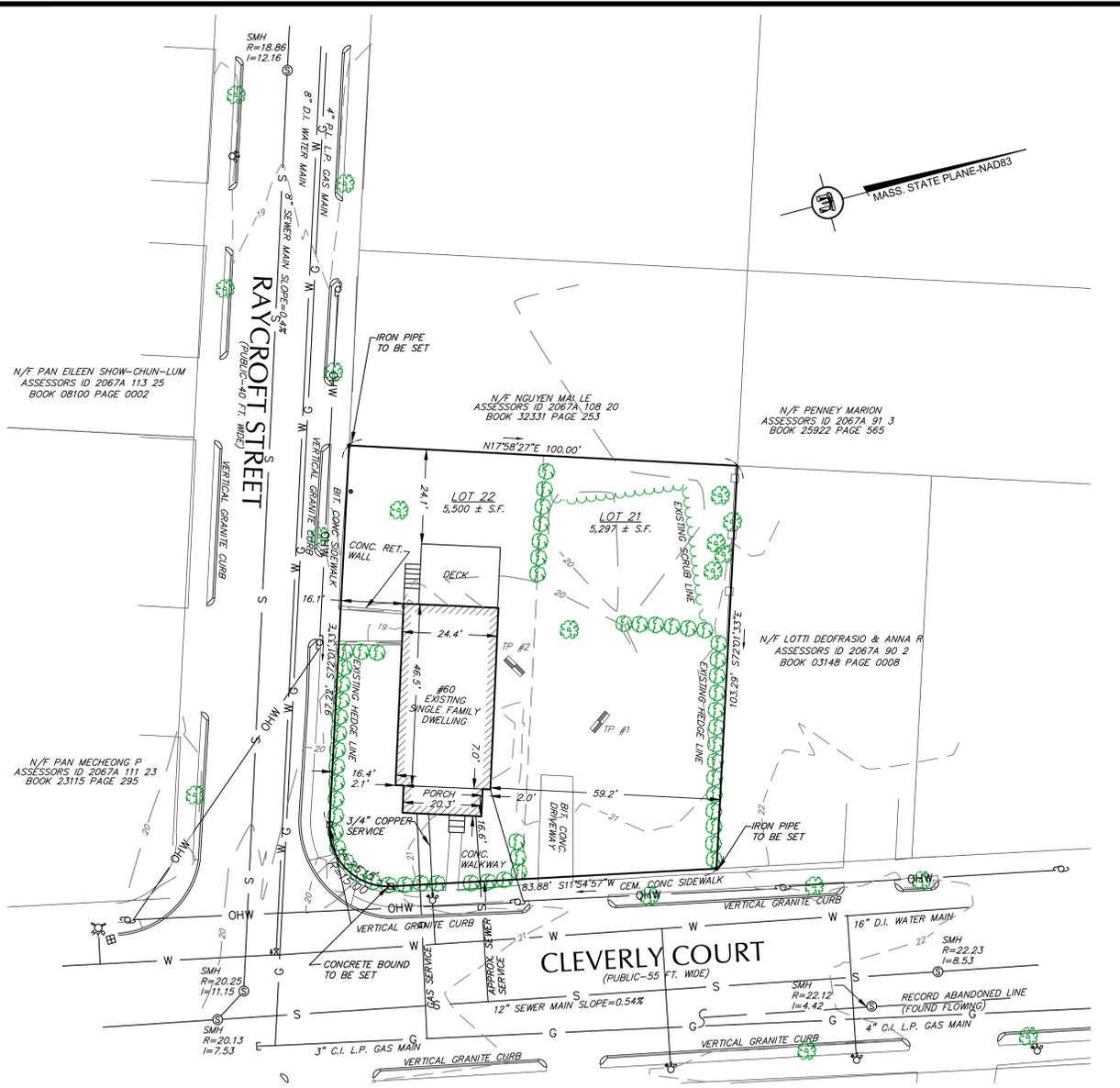
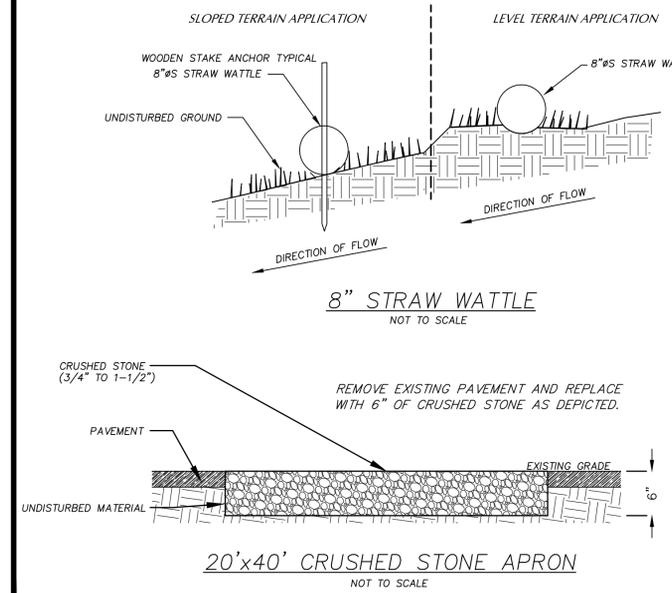
**LEGEND:**

<b>EXISTING:</b>	<b>PROPOSED:</b>
- LOCUS PROPERTY LINE	- LOCUS PROPERTY LINE
- SCRUB LINE	- SCRUB LINE
- DRAIN MANHOLE	- DRAIN MANHOLE
- SEWER MANHOLE	- SEWER MANHOLE
- CATCH BASIN	- CATCH BASIN
- STONEWALL	- STONEWALL
- GAS VALVE	- GAS VALVE
- WATER VALVE	- WATER VALVE
- UTILITY POLE	- UTILITY POLE
- NOW OR FORMERLY	- NOW OR FORMERLY
- STONE BOUND	- STONE BOUND
- IRON PIPE	- IRON PIPE
- DRAIN PIPE	- DRAIN PIPE
- WATER MAIN	- WATER MAIN
- FIRE HYDRANT	- FIRE HYDRANT
- GAS MAIN	- GAS MAIN
- UNDERGROUND POWER	- UNDERGROUND POWER
- OVERHEAD WIRES	- OVERHEAD WIRES
- SEWER PIPE	- SEWER PIPE
- CONTOUR	- CONTOUR
- POST AND RAIL FENCE	- POST AND RAIL FENCE
- SPOT GRADE	- SPOT GRADE
- CONIFEROUS TREE	- CONIFEROUS TREE
- DECIDUOUS TREE	- DECIDUOUS TREE
- HEDGE	- HEDGE
- LSA	- LSA

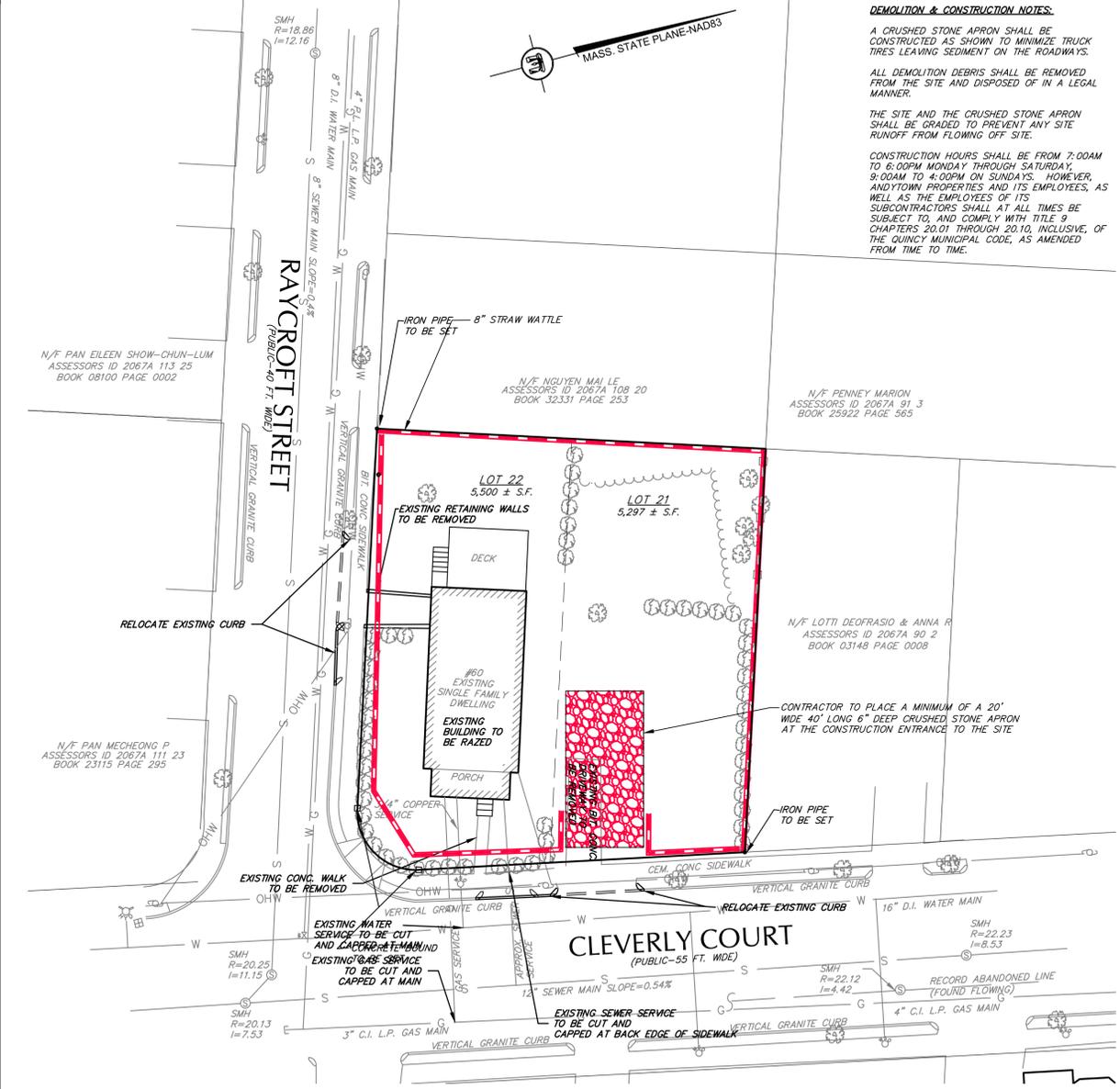
**SOIL LOGS**

TEST PIT	1	2
GRD. EL.	20.4	20.9
GW. EL.	NGWO	NGWO
0"	Ap. SANDY LOAM 10YR3/3, FRIABLE	FILL, LOAMY SAND
12"	Bw. SANDY LOAM 10YR4/4, FRIABLE	OLD Ap. SANDY LOAM DENSE, 10YR3/3
22"	C. SAND 2.5Y4/3 ICE CONTACT OUTWASH COARSE SAND AND GRAVEL WITH MANY STONES, BONEY, SINGLE-GRAINED NGWO, NO MOTTLES	Bw. SANDY LOAM 10YR4/4 MIXED, UNDEFINED
94"		C. SAND 2.5Y4/3 ICE CONTACT OUTWASH COARSE SAND AND GRAVEL WITH MANY STONES, BONEY, SINGLE-GRAINED NGWO, NO MOTTLES

TEST PERFORMED BY JAMES BURKE, SOIL EVALUATOR  
DATE OF TEST: 02/26/16



EXISTING CONDITIONS



CONSTRUCTION MANAGEMENT

**DeCELLE**  
  
**BURKE & Associates, Inc.**  
 1266 Furnace Brook Parkway, Suite 401 Quincy, MA 02169  
 (617) 405-5100 (O) (617) 405-5101 (F)

CLAUDIO SALA, PLS DATE

- GENERAL NOTES:**
- LOCUS: ASSESSORS MAP 2067A BLOCK 110 LOT 22  
RECORD OWNER: GLEN T & JEAN M MUNN DEED REFERENCE: BOOK 7647 PAGE 326 PLAN REFERENCE: BOOK 1729 PAGE 489
  - THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE IN JANUARY 2016. ELEVATIONS SHOWN ON NAVD 88 DATUM.
  - EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SERVICE.
  - DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
  - THE LOT SHOWN DOES NOT LIE IN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25021C-0226F DATED JUNE 9, 2014.
  - PARCEL IS ZONED RESB.  
MIN. LOT AREA = 6,750 S.F.  
MIN. FRONTAGE = 75 FT.  
MIN. FRONT YARD = 25 FT.  
MIN. SIDE YARD = 25 FT.  
MIN. REAR YARD = 25 FT.  
MAX. STORIES = 3
  - AN AS-BUILT PLAN SHALL BE SUBMITTED TO THE QUINCY ENGINEERING DEPARTMENT UPON COMPLETION OF THE PROJECT AND PRIOR TO OCCUPANCY.

**PROJECT TITLE & LOCATION:**  
 CLEVERLY ESTATES  
 60 CLEVERLY COURT  
 QUINCY MA, 02169

**PLAN TITLE:** EXISTING CONDITIONS & CONSTRUCTION MANAGEMENT

**PREPARED FOR:**  
 JOSEPH TAYLOR  
 147 BEALE STREET  
 QUINCY, MA 02169

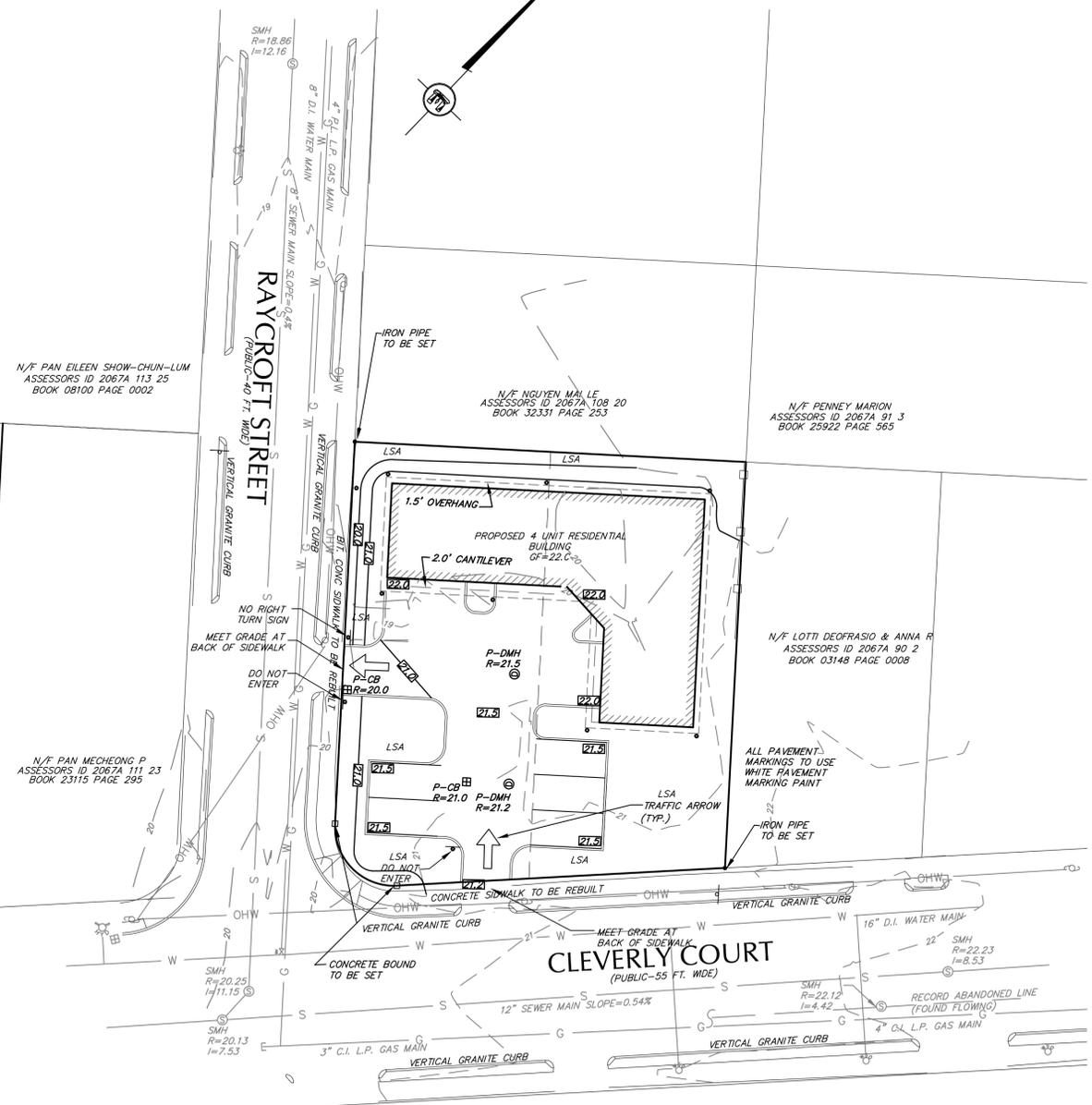
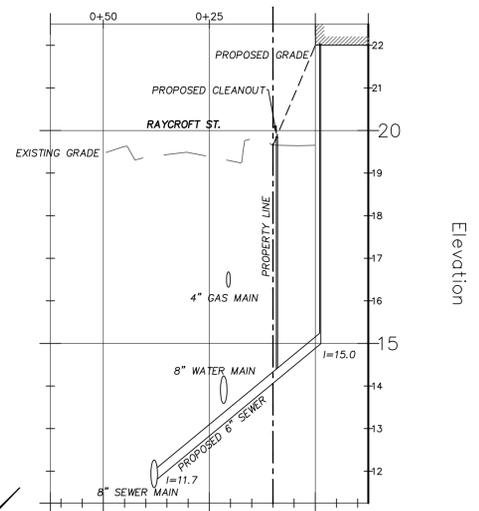
**DATE:** FEBRUARY 26, 2016  
**REVISED:** JUNE 1, 2016

**JOB NUMBER:** 200.017 **SHEET** 2 OF 4  
  
 SCALE: 1"=20'

**LEGEND:**

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**SEWER PROFILE**



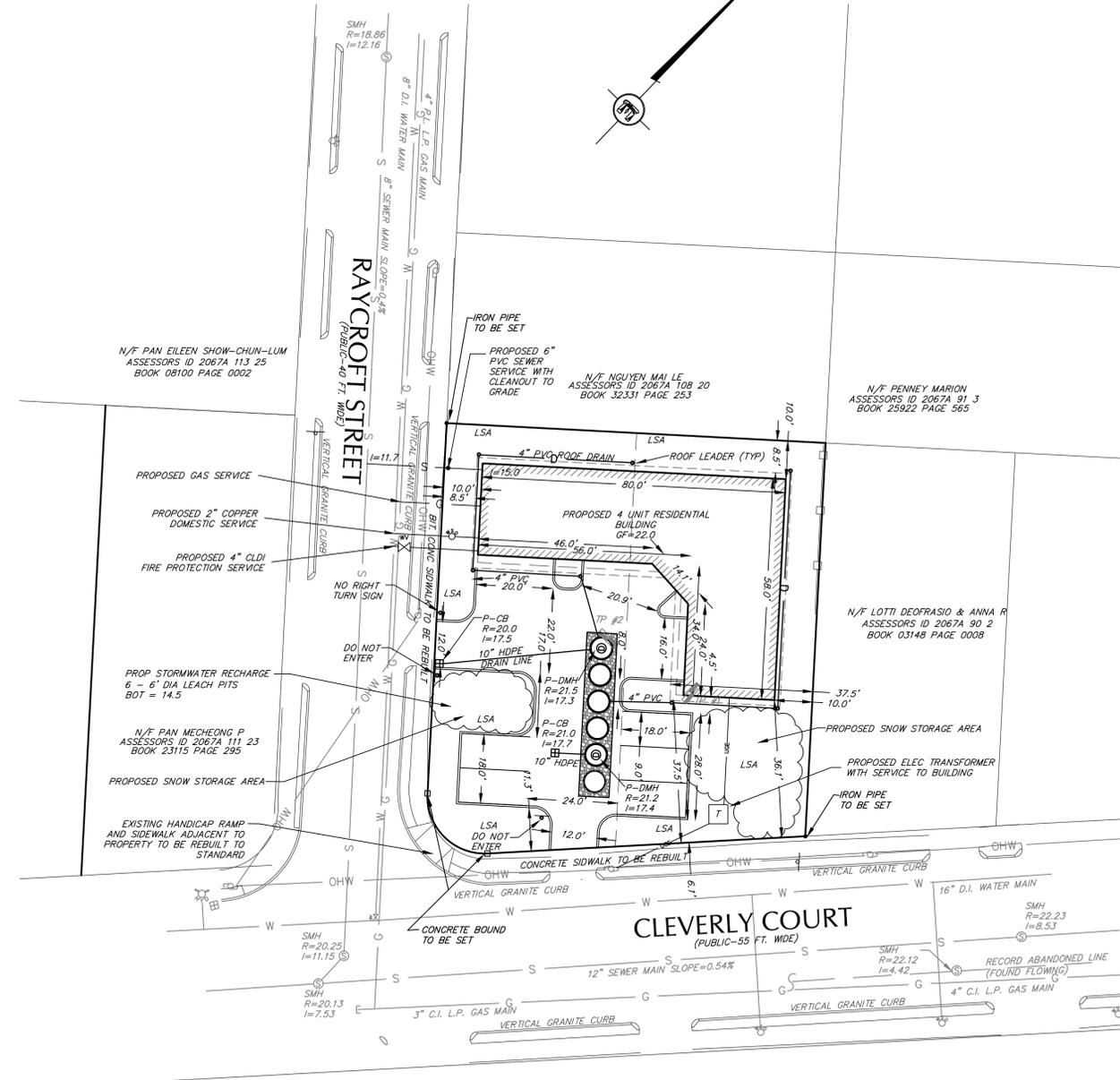
**GRADING PLAN**

**ZONING SCHEDULE**

LOT ZONING CLASSIFICATION : RESIDENTIAL B (RESB)

ZONING REQUIREMENT	REQUIRED	PROPOSED	VARIANCE NEEDED?
MINIMUM LOT SIZE	6,750 FT.	10,792 S.F.	VARIANCE REQUIRED
MINIMUM FRONTAGE	75 FT.	83.89 FT.	
MINIMUM FRONT YARD SETBACK	25 FT.	8.5 FT.	VARIANCE REQUIRED
*MINIMUM SIDE YARD SETBACK	25 FT.	8.5 FT.	
MINIMUM REAR YARD SETBACK	25 FT.	N/A	VARIANCE REQUIRED
MAXIMUM NUMBER OF STORIES	3 STORIES	2.5 STORIES	
MAXIMUM F.A.R.	0.4	0.56	VARIANCE REQUIRED
MINIMUM GREEN SPACE	700 S.F. / UNIT	1,028 S.F. / UNIT	
MINIMUM LOT AREA PER UNIT	4,000 S.F. / UNIT	2,698 S.F. / UNIT	VARIANCE REQUIRED
MINIMUM NUMBER OF PARKING SPACES	1.75 SPACES / UNIT	2.25 SPACES / UNIT	

PLEASE NOTE THERE ARE TWO SIDE YARD VARIANCE REQUESTS FOR THE SAME DISTANCE OF 8.5 FEET



**LAYOUT & UTILITIES**



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JAMES W. BURKE, P.E. DATE

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CLAUDIO SALA, PLS DATE

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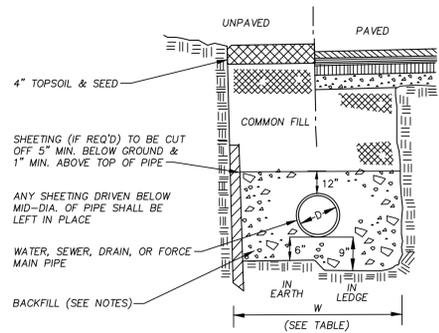
**CLEVERLY ESTATES  
60 CLEVERLY COURT  
QUINCY MA, 02169**

PLAN TITLE: **GRADING PLAN & LAYOUT & UTILITIES**

PREPARED FOR:  
**JOSEPH TAYLOR  
147 BEALE STREET  
QUINCY, MA 02169**

DATE: FEBRUARY 26, 2016  
REVISED: JUNE 1, 2016

JOB NUMBER: 200.017 SHEET 3 OF 4  
SCALE: 1"=20'

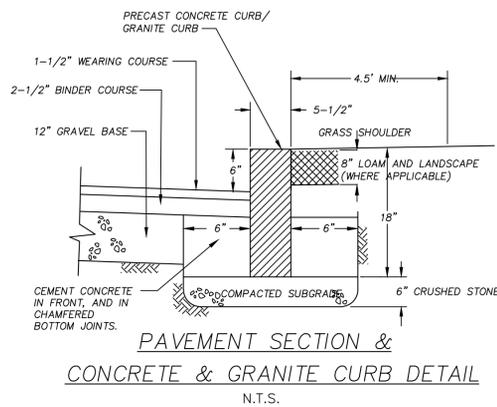


TRENCH WIDTH		
D DIAMETER OF PIPE	W UNSHEEDED	W SHEETED
TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'

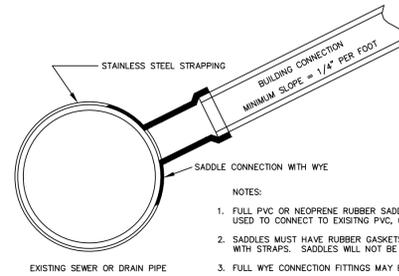
- NOTES:
- COMMON FILL MATERIAL TO CONSIST OF GRANULAR MATERIAL CONTAINING NO STONES LARGER THAN 6" IN GREATEST DIMENSION.
  - BACKFILL WITH CLEAN SAND TO 12" OVER PIPE FOR WATERMAINS.
  - BACKFILL WITH SELECT MATERIAL CONTAINING NO STONES LARGER THAN 3" IN GREATEST DIMENSION TO 12" OVER PIPE FOR SEWER AND DRAIN PIPES.
  - PROVIDE SCREENED GRAVEL BEDDING TO MID PIPE DIAMETER FOR SANITARY SEWERS AND WHERE GROUNDWATER IS ENCOUNTERED AS DIRECTED BY THE ENGINEER.
  - REMOVE UNSUITABLE MATERIAL BELOW GRADE IF ENCOUNTERED, TO SUITABLE DEPTHS AS DIRECTED BY ENGINEER AND REPLACE WITH CLEAN GRANULAR FILL.

- NOTES:
- ALL TRENCH CONSTRUCTION TO CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
  - COMPACT FILL AND TAMP PIPE TO 93% MAX. DENSITY UNLESS OTHERWISE SPECIFIED.
  - MATERIALS TO BE USED ARE CL 52 DCL AND SDR 35 PVC

TYPICAL TRENCH SECTIONS  
N.T.S.

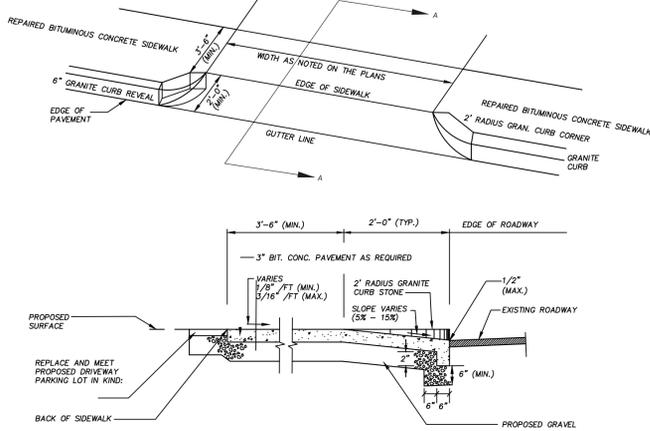


PAVEMENT SECTION &  
CONCRETE & GRANITE CURB DETAIL  
N.T.S.

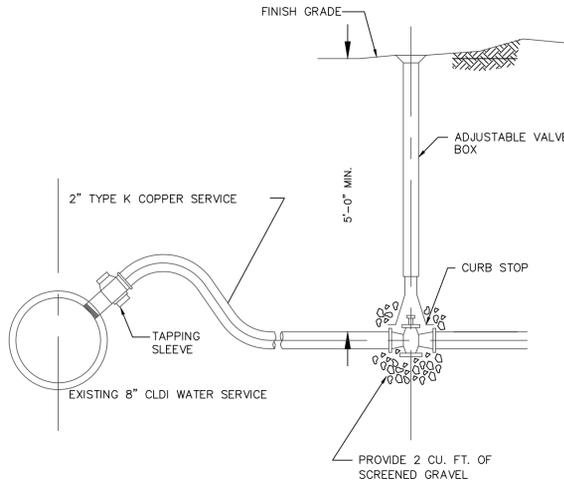


DRAIN AND SEWER SADDLE CONNECTION  
N.T.S.

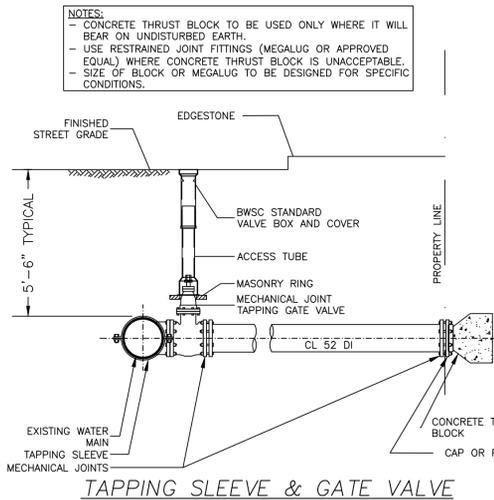
- NOTES:
- FULL PVC OR NEOPRENE RUBBER SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY OR IRON PIPE.
  - SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO PIPE.
  - FULL WYE CONNECTION FITTINGS MAY BE USED.
  - PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
  - CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.



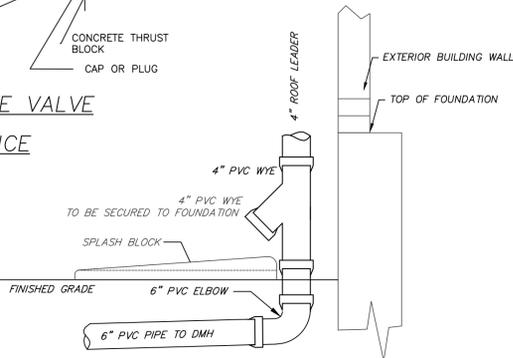
CURB CUT W/ CURB CORNER DETAIL  
N.T.S.



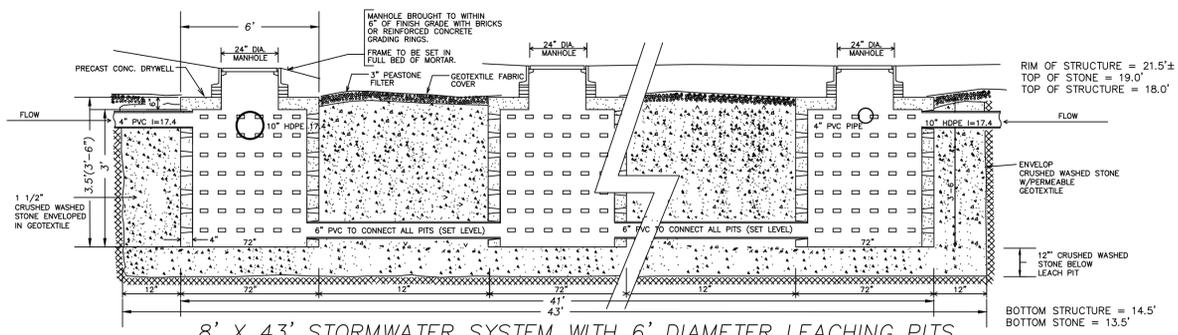
TAPPING SLEEVE & GATE VALVE  
FOR 2" COPPER DOMESTIC WATER SERVICE  
N.T.S.



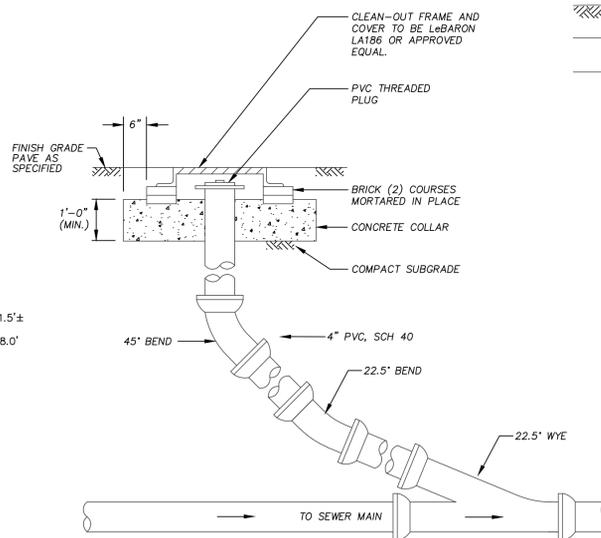
TAPPING SLEEVE & GATE VALVE  
FOR 4" FIRE SERVICE  
N.T.S.



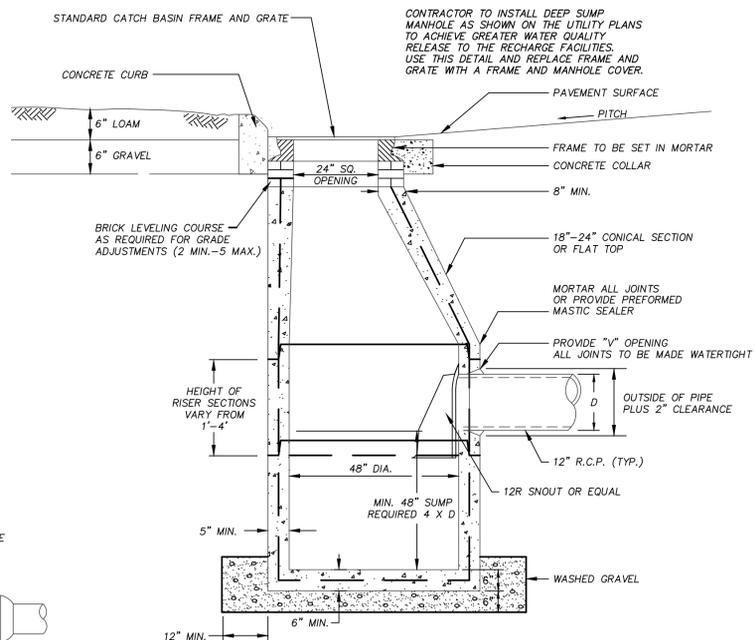
TYPICAL ROOF DRAIN W/ OVERFLOW  
N.T.S.



8' X 43' STORMWATER SYSTEM WITH 6' DIAMETER LEACHING PITS  
N.T.S.



TYPICAL SEWER CLEAN-OUT DETAIL  
NOT TO SCALE



PRECAST CONCRETE CATCH BASIN  
N.T.S.



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QUINCY MA, 02169

PLAN TITLE:  
CONSTRUCTION DETAILS

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