

RECEIVED
DEC 08 2015
CITY OF QUINCY
PLANNING DEPARTMENT



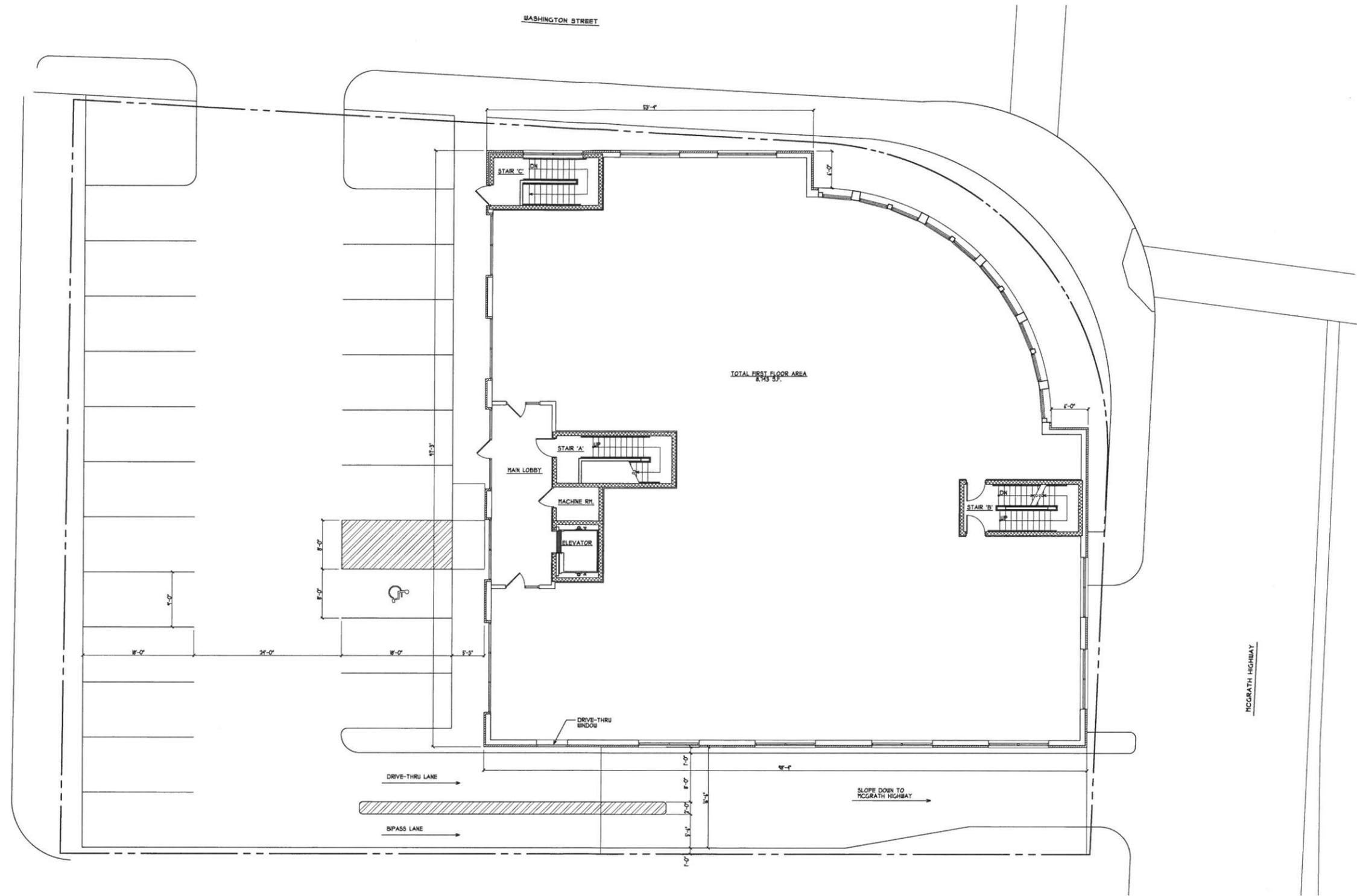
A GALVIN COMPANY
DEVELOPMENT

111 Washington Street
Quincy, Massachusetts



**A GALVIN COMPANY
DEVELOPMENT**

*111 Washington Street
Quincy, Massachusetts*



FIRST FLOOR PLAN
 0 1 2 3 4 8 16 FT.

REV 2 - 30 OCT 15 BY WAL
 REV 1 - 3 AUG 15 BY WAL
 1 JUL 15 BY WAL

MOESER & ASSOCIATES
 ARCHITECT

206 AYER ROAD
 HARVARD, MA 01451
 978-456-6905
 FAX 978-456-9153

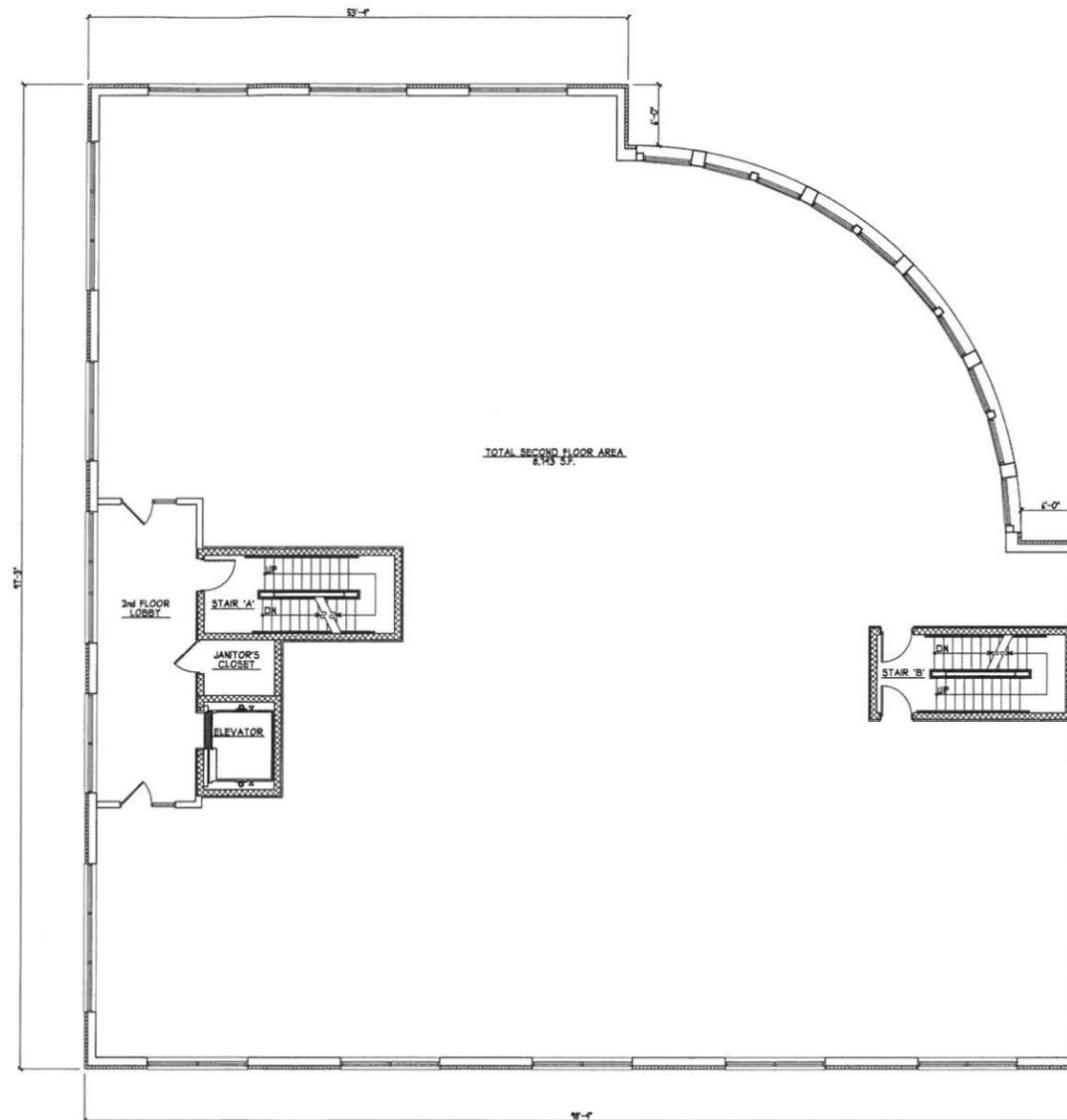


GALVIN
 COMPANY
 BUILDERS & DEVELOPERS

PROPOSED OFFICE BUILDING

111 WASHINGTON STREET
 QUINCY, MASSACHUSETTS

ACP-1.2



SECOND AND THIRD FLOOR PLANS

0 1 2 3 4 8 16 FT.



REV 2 - 30 OCT 15 BY WAL
 REV 1 - 3 AUG 15 BY WAL
 1 JUL 15 BY WAL

MOESER & ASSOCIATES
 ARCHITECT

206 AYER ROAD
 HARVARD, MA 01451
 978-456-6905
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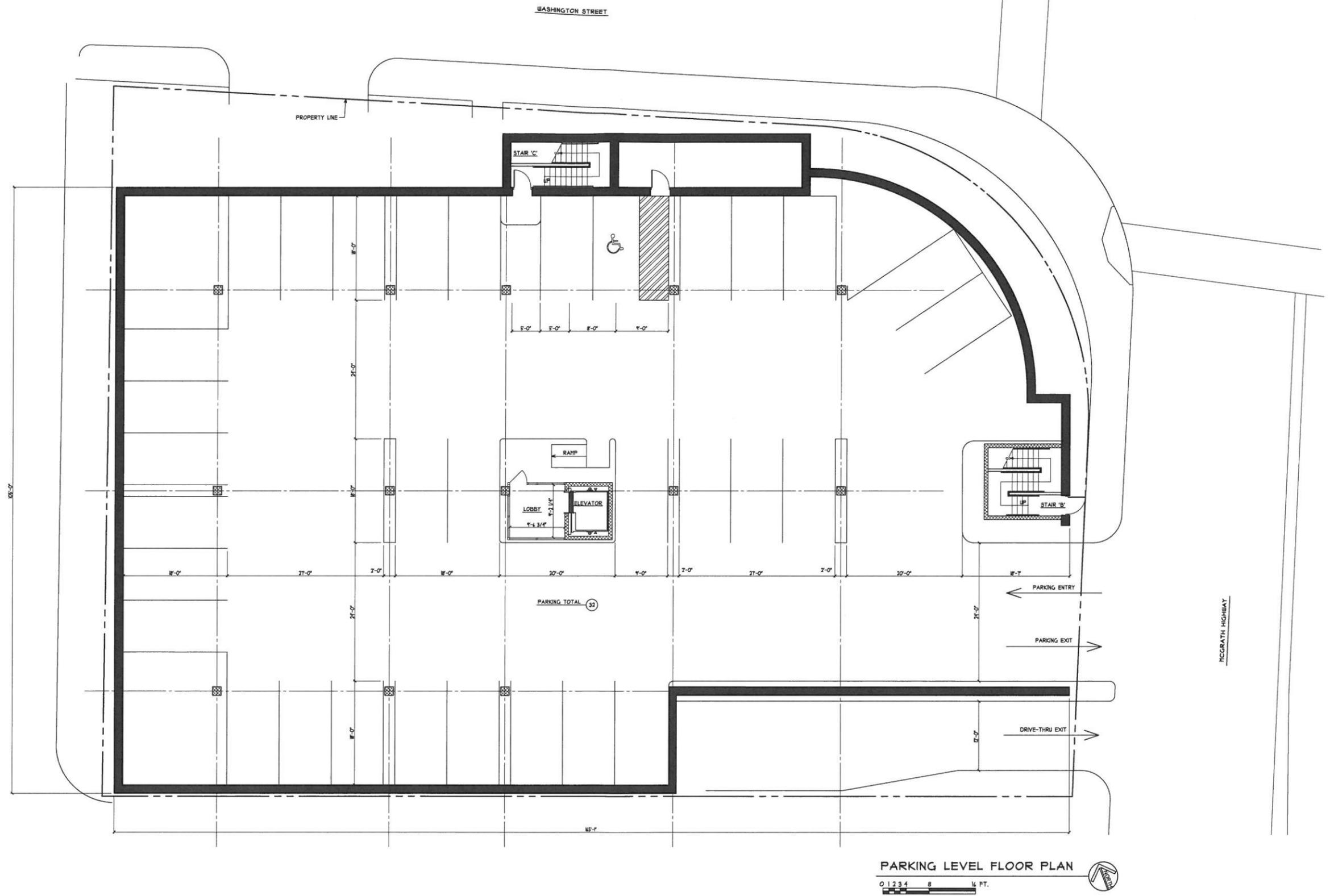


GALVIN
COMPANY
 BUILDERS & DEVELOPERS

PROPOSED OFFICE BUILDING

111 WASHINGTON STREET
 QUINCY, MASSACHUSETTS

ACP-1.3



PARKING LEVEL FLOOR PLAN



REV 2 - 30 OCT 15 BY WAL
 REV 1 - 3 AUG 15 BY WAL
 1 JUL 15 BY WAL

MOESER & ASSOCIATES
 ARCHITECT

206 AYER ROAD
 HARVARD, MA 01451
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GALVIN
 COMPANY
 BUILDERS & DEVELOPERS

PROPOSED OFFICE BUILDING

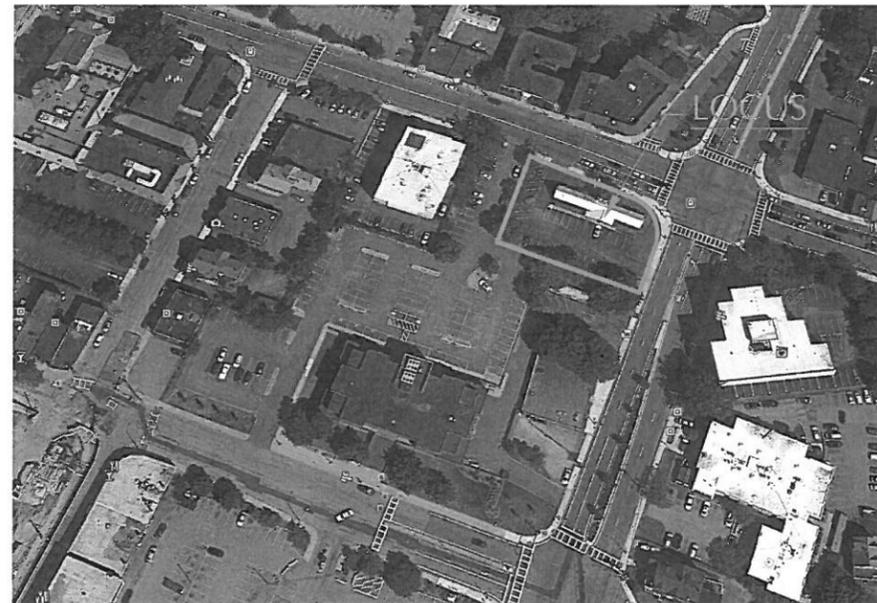
111 WASHINGTON STREET
 QUINCY, MASSACHUSETTS

ACP-1.1

PROPOSED OFFICE BUILDING

111 WASHINGTON STREET
QUINCY, MASSACHUSETTS

OCTOBER 23, 2015



LOCUS AERIAL
NTS

IMAGE FROM 2014 GOOGLE MAPS

APPLICANT

GALVCON DEVELOPMENT
245 WILLARD STREET
QUINCY, MA 02169



ARCHITECT

MOESER & ASSOCIATES
206 AYER ROAD SUITE #2
HARVARD, MA 01451

CIVIL/SURVEY

DECELLE-BURKE & ASSOCIATES
1266 FURNACE BROOK PARKWAY
SUITE 401
QUINCY, MA 02169



SHEETS

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 CONSTRUCTION MANAGEMENT
- 4 LAYOUT
- 5 LAYOUT GARAGE
- 6 GRADING
- 7 UTILITY
- 8 TRAFFIC FLOW
- 9 DETAILS
- 10 DETAILS



REVISIONS:	
No.	DATE





LOCUS MAP NTS

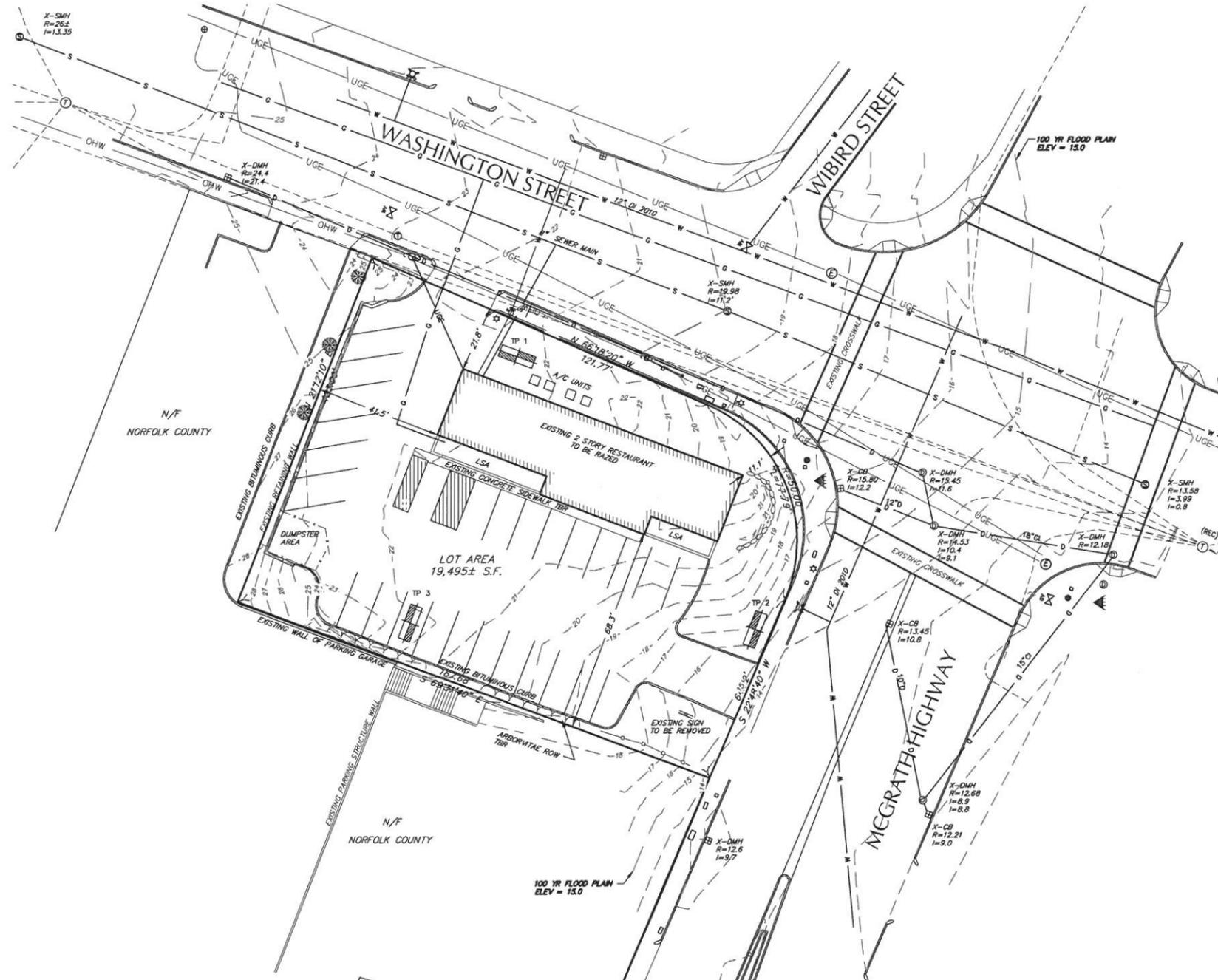
TEST PIT	1	2	3
GRD. EL.	22.0	15.8	22.1
GW. EL.	NGWO	NGWO	NGWO
FILL	SL Sandy loam, with gravel	SL Sandy loam, with gravel	SL Disturbed loamy sand with gravel
33"	B - LS Gravelly sandy loam, outwash.	B - S Coarse gravelly sand, unstratified outwash.	C - S Very coarse sand with lots of gravel and stones. Unstratified outwash.
78"	C - S Very coarse sand, outwash unstratified mix of sand, gravel and stones.	C - S Very coarse sand, stratified outwash mix of sand, gravel and stones.	
148"			
DATE:	10/14/15	10/14/15	10/14/15
TEST BY:	JAMES W. BURKE, P.E.	JAMES W. BURKE, P.E.	JAMES W. BURKE, P.E.

ZONING SCHEDULE

LOT ZONING CLASSIFICATION : QUINCY CENTER ZONING DISTRICT-15

ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT SIZE	15,000 S.F.	19,495 S.F.
MAXIMUM NUMBER OF STORIES	15 STORIES	3 STORIES
MINIMUM NUMBER OF PARKING SPACES	1 SPACES / 400 S.F.	57 SPACES

ALL EXISTING UTILITIES SERVICING THE EXISTING BUILDING SHALL BE CUT AND CAPPED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR THE CITY OF QUINCY WATER AND SEWER DEPARTMENT AND WITH THE REGULATIONS PERTINENT TO THE OTHER UTILITY OWNERS THAT SERVICE THE BUILDING.



LEGEND:

EXISTING:	PROPOSED:
--- LOCUS PROPERTY LINE	--- LOCUS PROPERTY LINE
--- TREE LINE	--- TREE LINE
⊙ SEWER MANHOLE (SMH)	⊙ SEWER MANHOLE (SMH)
⊙ DRAIN MANHOLE (DMH)	⊙ DRAIN MANHOLE (DMH)
⊙ CATCH BASIN (CB)	⊙ CATCH BASIN (CB)
--- STONEWALL	--- STONEWALL
⊙ GAS VALVE	⊙ GAS VALVE
⊙ WATER VALVE	⊙ WATER VALVE
⊙ WATER SERVICE	⊙ WATER SERVICE
⊙ HYDRANT	⊙ HYDRANT
⊙ UTILITY POLE	⊙ UTILITY POLE
N/F NOW OR FORMERLY	N/F NOW OR FORMERLY
○ IRON PIPE OR REBAR	○ IRON PIPE OR REBAR
--- DRAIN PIPE	--- DRAIN PIPE
--- WATER MAIN	--- WATER MAIN
--- GAS SERVICE	--- GAS SERVICE
--- UNDERGROUND POWER	--- UNDERGROUND POWER
--- UNDERGROUND TELEPHONE	--- UNDERGROUND TELEPHONE
--- OHW OVERHEAD WIRES	--- OHW OVERHEAD WIRES
--- S SEWER MAIN	--- S SEWER MAIN
LSA LANDSCAPED AREA	LSA LANDSCAPED AREA
--- GRADE	--- GRADE
--- SPOT GRADE	--- SPOT GRADE
--- CHAIN LINK FENCE	--- CHAIN LINK FENCE
⊙ TEST PIT	⊙ TEST PIT
⊙ HAND HOLES FOR UTILITIES	⊙ HAND HOLES FOR UTILITIES
⊙ LIGHT POLE	⊙ LIGHT POLE
⊙ TRAFFIC LIGHT	⊙ TRAFFIC LIGHT

DeCELLE

BURKE
 & Associates, Inc.
 1266 Furnace Brook Parkway Quincy, MA 02169
 (617) 405-5100 (O) (617) 405-5101 (F)

LAWRENCE DECELLE, JR., PLS DATE

- GENERAL NOTES:
- LOCUS: ASSESSORS MAP 1137 BLOCK 8 LOT 6
 RECORD OWNER: R RAVECH & SON REALTY LLC
 DEED REFERENCE: BOOK 17943 PAGE 19
 PLAN REFERENCE: PLAN 278 OF 1972
 - THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE IN JANUARY 2015. ELEVATIONS SHOWN ON NAVD 88.
 - EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 40B AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
 - THE LOT SHOWN LIES WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON PLAN AND DELINEATED ON FIRM 25021C0008F, DATED JUNE 9, 2014, ZONE AE, ELEVATION = 15.0' NAVD 88.
 - PARCEL IS ZONED QCD-15.
 MIN. LOT AREA = 15,000 S.F.
 MIN. LOT AREA P.D.U. = 325 SQ. FT.
 MAX. STORIES = 15
 PARKING = 1 SPACE/400 S.F. OFFICE SPACE

PROJECT TITLE & LOCATION:
PROPOSED OFFICE BUILDING
 111 WASHINGTON STREET
 QUINCY, MA 02169

PLAN TITLE:
 EXISTING CONDITIONS

PREPARED FOR:
 GALVCON DEVELOPMENT
 245 WILLARD ST
 QUINCY, MA 02169

DATE: OCTOBER 23, 2015
 REVISED:
 JOB NUMBER: 100-026 SHEET 2 OF 10
 SCALE: 1"=20'

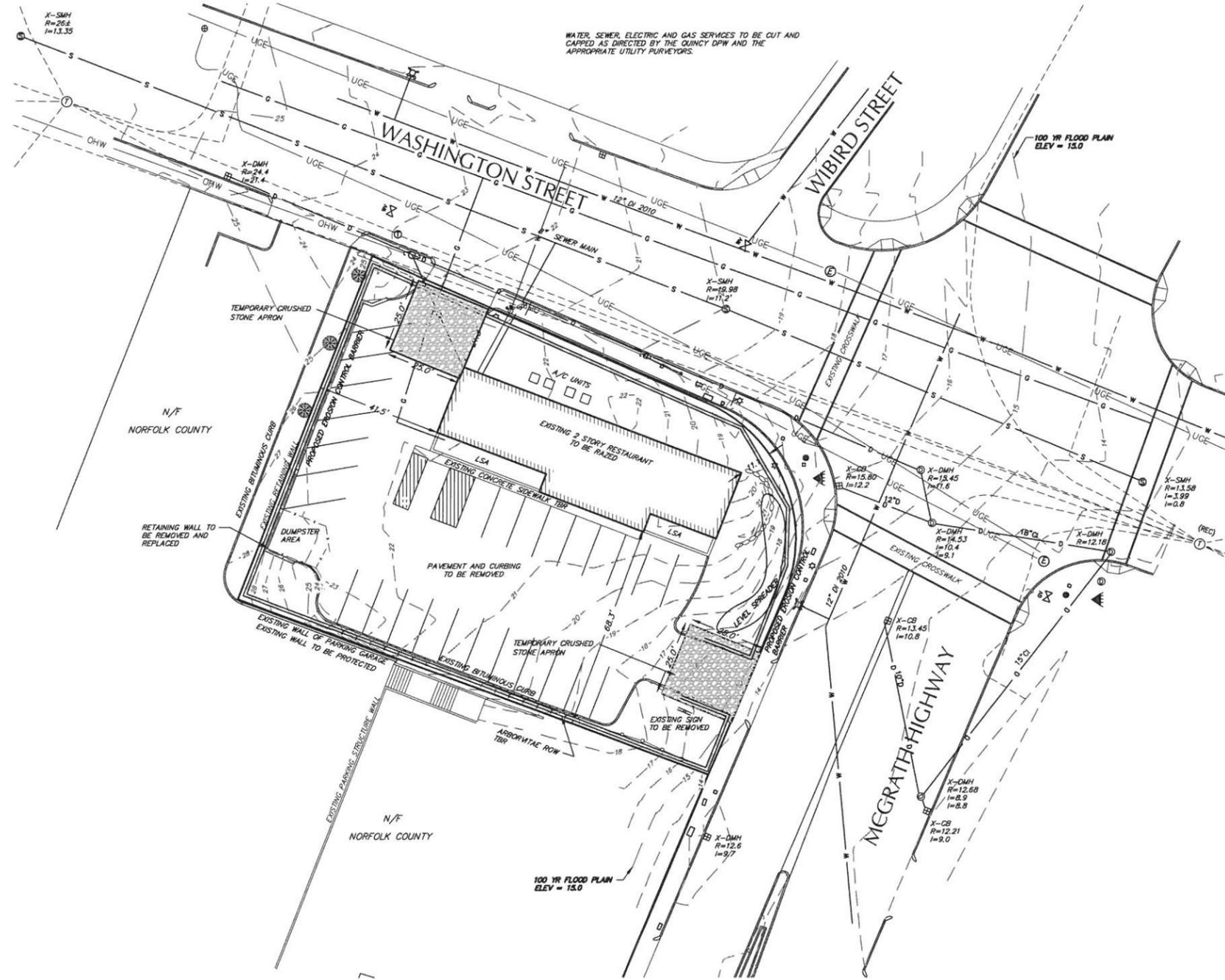


LOCUS MAP NTS



ALL EXISTING UTILITIES SERVICING THE EXISTING BUILDING SHALL BE CUT AND CAPPED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR THE CITY OF QUINCY WATER AND SEWER DEPARTMENT AND WITH THE REGULATIONS PERTINENT TO THE OTHER UTILITY OWNERS THAT SERVICE THE BUILDING.

WATER, SEWER, ELECTRIC AND GAS SERVICES TO BE CUT AND CAPPED AS DIRECTED BY THE QUINCY DPW AND THE APPROPRIATE UTILITY PURVEYORS.



LEGEND:

EXISTING:	PROPOSED:

DeCELLE

BURKE & Associates, Inc.
 1266 Furnace Brook Parkway Quincy, MA 02169
 (617) 405-5100 (O) (617) 405-5101 (F)

JAMES W. BURKE, PE DATE

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 - PARCEL IS ZONED OQ2D-15.
 MIN. LOT AREA = 15,000 S.F.
 MIN. LOT AREA P.D.U. = 325 SQ. FT.
 MAX. STORES = 15.

- DEMOLITION & CONSTRUCTION NOTES:**
- THE CONTRACTOR SHALL PLACE A 6" HIGH TEMPORARY SAFETY FENCE AROUND THE SITE PRIOR TO THE DEMOLITION ON SITE.
 - A WATER TRUCK SHALL BE ON-SITE DURING THE DEMOLITION PROCESS TO MINIMIZE DUST.
 - A CRUSHED STONE APRON SHALL BE CONSTRUCTED AS SHOWN TO MINIMIZE TRUCK TIRES LEAVING SEDIMENT ON THE ROADWAYS.
 - ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
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 - CONSTRUCTION HOURS SHALL BE FROM 6:00AM TO 6:00PM MONDAY THROUGH SATURDAY, 8:00AM TO 4:00PM ON SUNDAYS. HOWEVER, COMPANY EMPLOYEES, AS WELL AS THE EMPLOYEES OF ITS SUBCONTRACTORS SHALL AT ALL TIMES BE SUBJECT TO, AND COMPLY WITH TITLE 9 CHAPTERS 20.01 THROUGH 20.10, INCLUSIVE, OF THE QUINCY MUNICIPAL CODE, AS AMENDED FROM TIME TO TIME.

PROJECT TITLE & LOCATION:
PROPOSED OFFICE BUILDING
 111 WASHINGTON STREET
 QUINCY, MA 02169

PLAN TITLE:
 CONSTRUCTION MANAGEMENT PLAN

PREPARED FOR:
 GALVCON DEVELOPMENT
 245 WILLARD ST
 QUINCY, MA 02169

DATE: OCTOBER 23, 2015

REVISIONS:

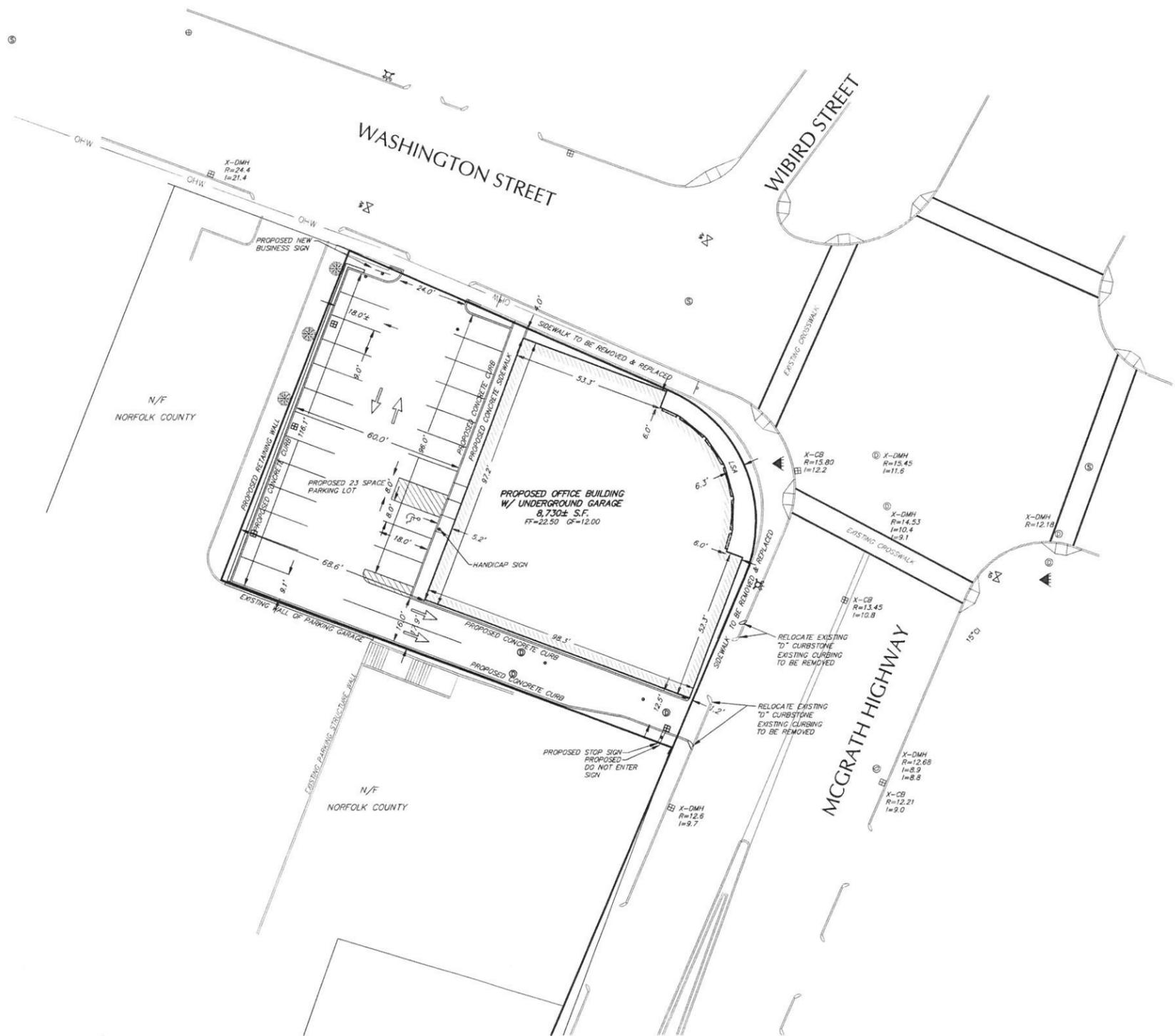
JOB NUMBER: 100-026 **SHEET:** 3 OF 10

SCALE: 1"=20'



LOCUS MAP NTS

PL 278 OF 1972



LEGEND:

EXISTING:	PROPOSED:
—	— LOCUS PROPERTY LINE
⊙	— TREE LINE
⊙	— SEWER MANHOLE (SMH)
⊙	— DRAIN MANHOLE (DMH)
⊙	— CATCH BASIN (CB)
⊙	— STONEWALL
⊙	— GAS VALVE
⊙	— WATER VALVE
⊙	— WATER SERVICE
⊙	— HYDRANT
⊙	— UTILITY POLE
N/F	— NOW OR FORMERLY
○	— IRON PIPE OR REBAR
—	— DRAIN PIPE
—	— WATER MAIN
—	— GAS SERVICE
—	— UNDERGROUND POWER
—	— UNDERGROUND TELEPHONE
OHW	— OVERHEAD WRES
S	— SEWER MAIN
LSA	— LANDSCAPED AREA
280	— GRADE
15x61	— SPOT GRADE
—	— CHAIN LINK FENCE
⊙	— TEST PIT
⊙	— HAND HOLES FOR UTILITIES
⊙	— LIGHT POLE
⊙	— TRAFFIC LIGHT

DeCELLE

BURKE & Associates, Inc.
 1266 Furnace Brook Parkway Quincy, MA 02169
 (617) 405-5100 (O) (617) 405-5101 (F)

JAMES W. BURKE, PE DATE

GENERAL NOTES:

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 RECORD OWNER: R RAVECH & SON REALTY LLC
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- PARCEL IS ZONED OQ2D-15.
 MIN. LOT AREA = 15,000 S.F.
 MIN. LOT AREA P.D.U. = 325 SQ. FT.
 MAX. STORIES = 15.

DEMOLITION & CONSTRUCTION NOTES:

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PROJECT TITLE & LOCATION:

PROPOSED OFFICE BUILDING
 111 WASHINGTON STREET
 QUINCY, MA 02169

PLAN TITLE:

PROPOSED LAYOUT - 1ST FLOOR

PREPARED FOR:

GALVCON DEVELOPMENT
 245 WILLARD STREET
 QUINCY, MA 02169

DATE: OCTOBER 23, 2015
REVISED:
REVISED:

JOB NUMBER: 100-026 SHEET 4 OF 10

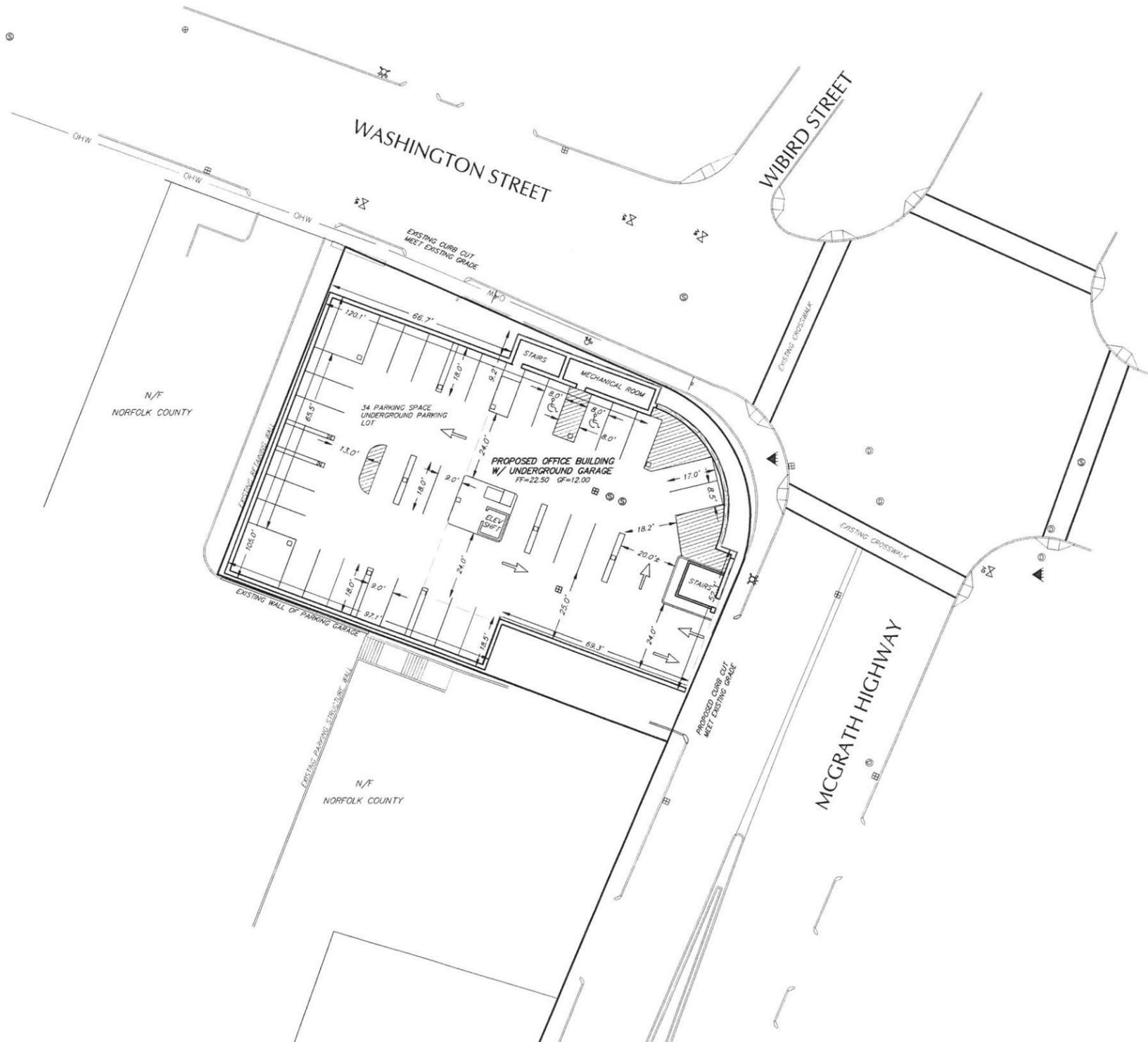
SCALE: 1"=20'



LOCUS MAP NTS

PL 278 OF 1972

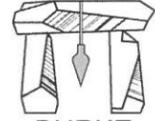
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LEGEND:

EXISTING:		PROPOSED:
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—	- TREE LINE	—
⊙	- SEWER MANHOLE (SMH)	⊙
⊙	- DRAIN MANHOLE (DMH)	⊙
⊙	- CATCH BASIN (CB)	⊙
—	- STONEWALL	—
—	- GAS VALVE	—
—	- WATER VALVE	—
—	- WATER SERVICE	—
—	- HYDRANT	—
—	- UTILITY POLE	—
N/F	- NOW OR FORMERLY	N/F
○	- IRON PIPE OR REBAR	○
—	- DRAIN PIPE	—
—	- WATER MAIN	—
—	- GAS SERVICE	—
—	- UNDERGROUND POWER	—
—	- UNDERGROUND TELEPHONE	—
OHW	- OVERHEAD WIRES	OHW
S	- SEWER MAIN	S
LSA	- LANDSCAPED AREA	LSA
—	- GRADE	—
15x61	- SPOT GRADE	15x61
—	- CHAIN LINK FENCE	—
□	- TEST PIT	□
□	- HAND HOLES FOR UTILITIES	□
⊙	- LIGHT POLE	⊙
▲	- TRAFFIC LIGHT	▲

DeCELLE



BURKE & Associates, Inc.

1266 Furnace Brook Parkway Quincy, MA 02169
(617) 405-5100 (O) (617) 405-5101 (F)



JAMES W. BURKE, PE DATE

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PROJECT TITLE & LOCATION:

PROPOSED OFFICE BUILDING
111 WASHINGTON STREET
QUINCY, MA 02169

PLAN TITLE:

PROPOSED LAYOUT-BASEMENT GARAGE

PREPARED FOR:

GALVCON DEVELOPMENT
245 WILLARD STREET
QUINCY, MA 02169



DATE: OCTOBER 23, 2015
REVISED:
REVISED:

JOB NUMBER: 100-026 SHEET 5 OF 10
SCALE: 1"=20'

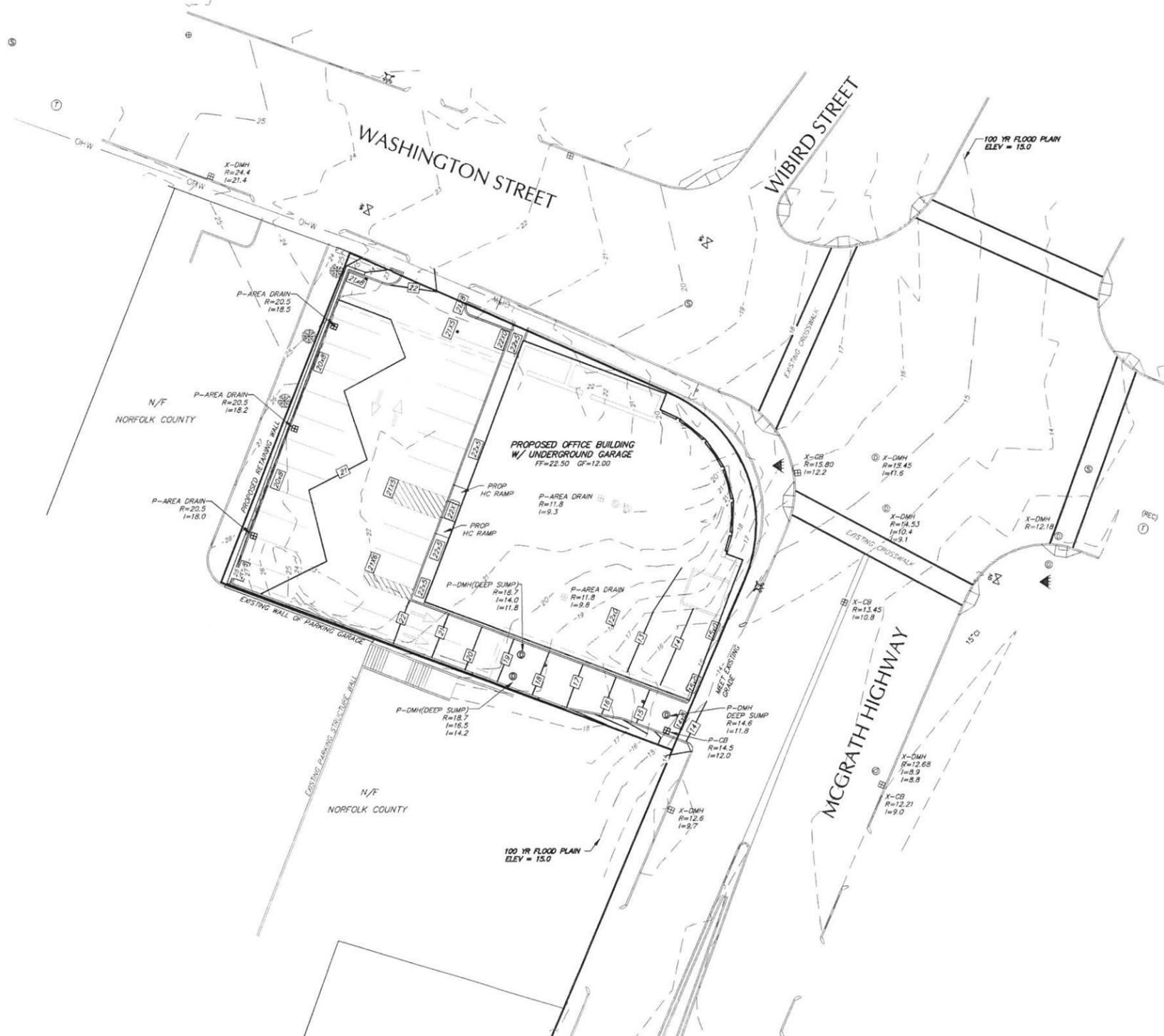


LOCUS MAP NTS

PL 278 OF 1972



ALL EXISTING UTILITIES SERVICING THE EXISTING BUILDING SHALL BE CUT AND CAPPED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR THE CITY OF QUINCY WATER AND SEWER DEPARTMENT AND WITH THE REGULATIONS PERTINENT TO THE OTHER UTILITY OWNERS THAT SERVICE THE BUILDING.



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- SEWER MAIN	- SEWER MAIN
- LANDSCAPED AREA	- LANDSCAPED AREA
- GRADE	- GRADE
- SPOT GRADE	- SPOT GRADE
- CHAIN LINK FENCE	- CHAIN LINK FENCE
- TEST PIT	- TEST PIT
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DeCELLE

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 - THE LOT SHOWN LIES WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON PLAN AND DELINEATED ON FIRM 250210008F, DATED JUNE 9, 2014. ZONE AE, ELEVATION = 15.0' NAVD 88.
 - PARCEL IS ZONED DCD-15.
 MIN. LOT AREA = 15,000 S.F.
 MIN. LOT AREA P.D.U. = 325 SQ. FT.
 MAX. STORIES = 15.

PROJECT TITLE & LOCATION:
PROPOSED OFFICE BUILDING
 111 WASHINGTON STREET
 QUINCY, MA 02169

PLAN TITLE:
 PROPOSED GRADING

PREPARED FOR:
GALVCON DEVELOPMENT
 245 WILLARD STREET
 QUINCY, MA 02169

DATE: OCTOBER 23, 2015
 REVISED:
 REVISED:

JOB NUMBER: 100-026 SHEET 6 OF 10

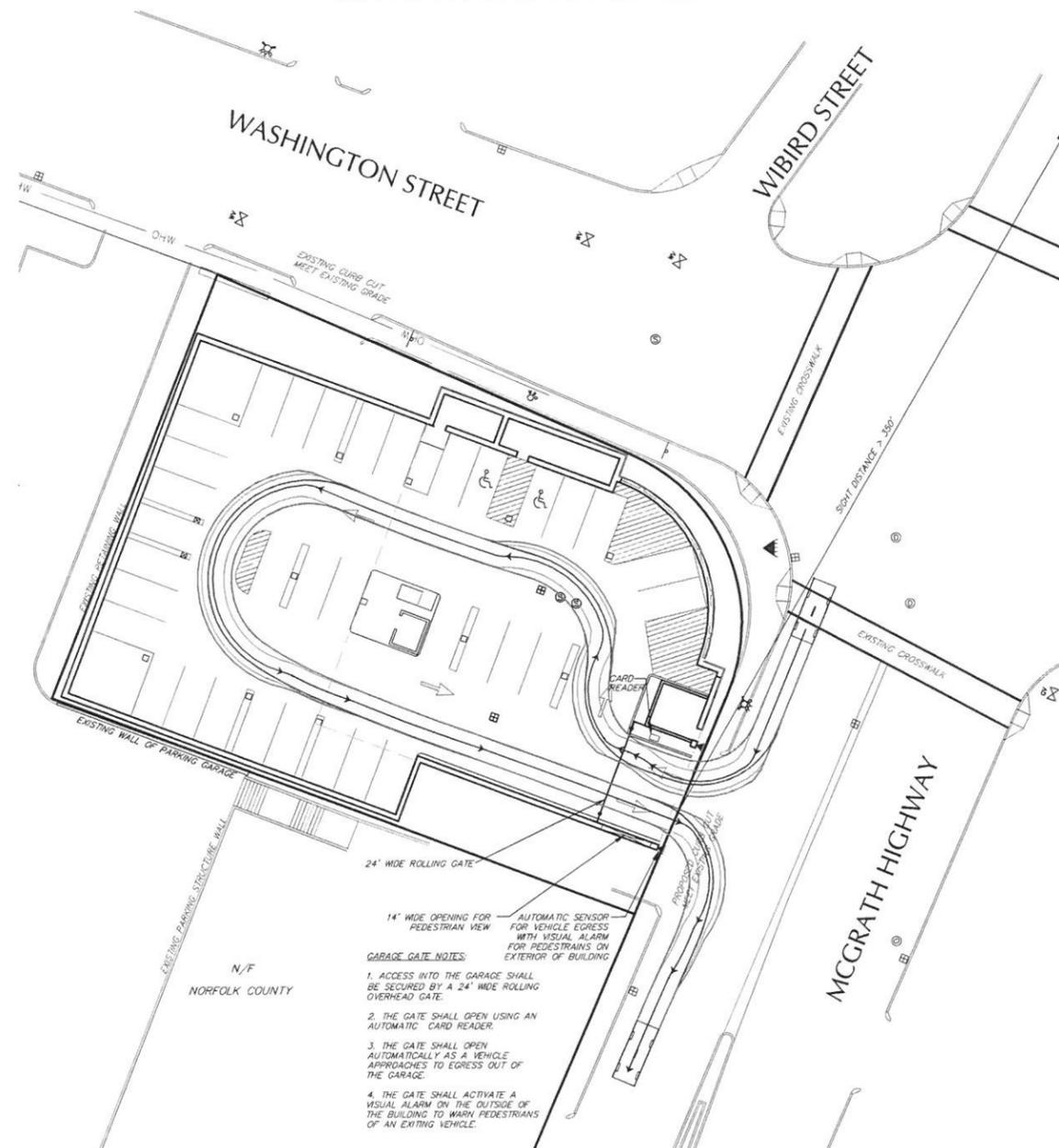
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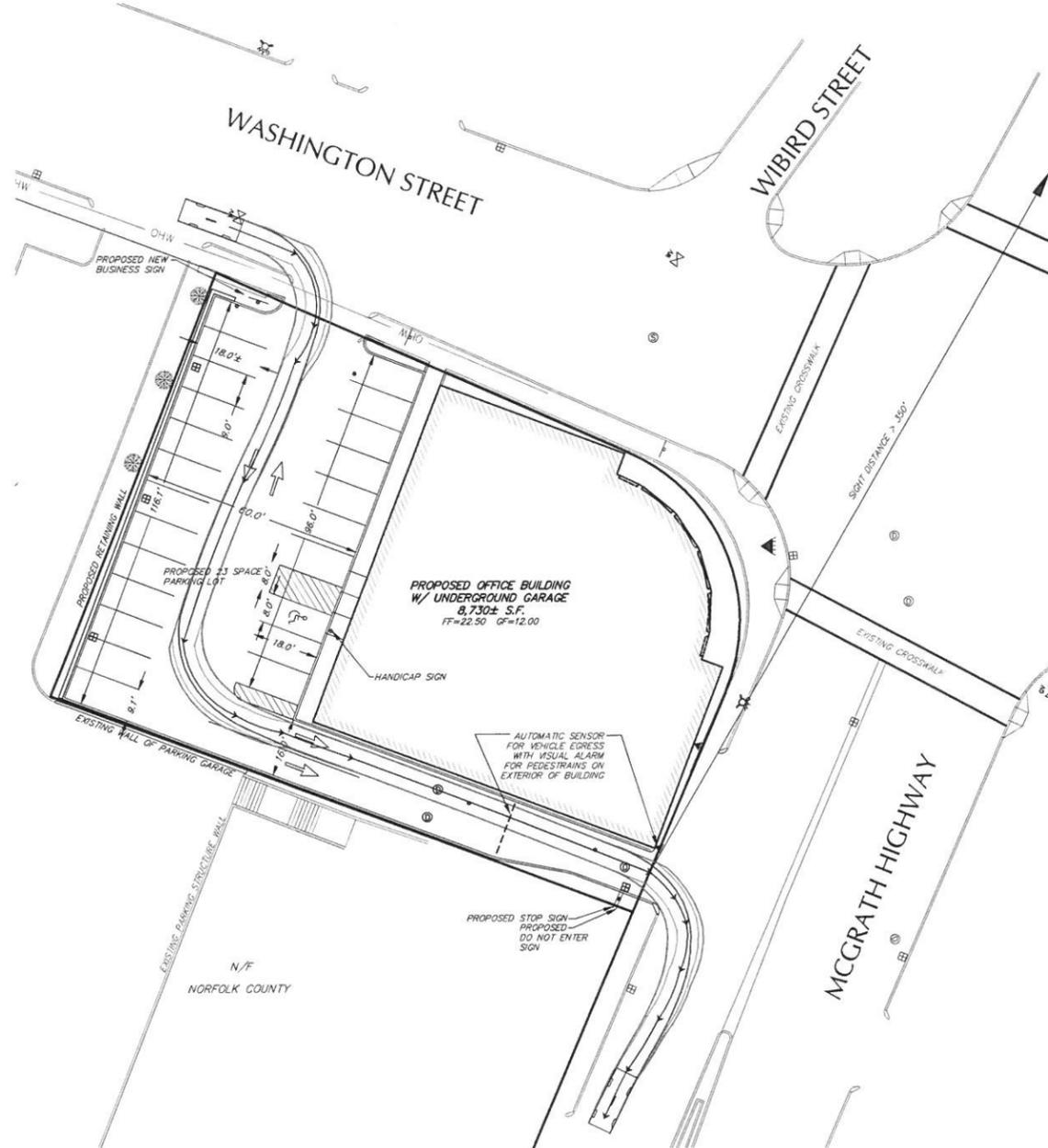
LOCUS MAP NTS



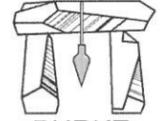
TRAFFIC PATTERN FOR GARAGE



TRAFFIC PATTERN FOR PARKING LOT



DeCELLE



BURKE & Associates, Inc.
 1266 Furnace Brook Parkway Quincy, MA 02169
 (617) 405-5100 (O) (617) 405-5101 (F)



JAMES W. BURKE, PE DATE

GENERAL NOTES:

1. LOCUS: ASSESSORS' MAP 1137 BLOCK 8 LOT 6
 RECORD OWNER: R RAVECH & SON REALTY LLC
 DEED REFERENCE: BOOK 17943 PAGE 19
 PLAN REFERENCE: PLAN 278 OF 1972
 2. THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE IN JANUARY 2015. ELEVATIONS SHOWN ON NAVD 88.
 3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
 DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 46B AT TEL: 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
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 5. PARCEL IS ZONED OQ2D-15.
 MIN. LOT AREA = 15,000 S.F.
 MIN. LOT AREA P.D.U. = 325 SQ. FT.
 MAX. STORIES = 15.
- DEMOLITION & CONSTRUCTION NOTES:**
- THE CONTRACTOR SHALL PLACE A 6" HIGH TEMPORARY SAFETY FENCE AROUND THE SITE PRIOR TO THE DEMOLITION ON SITE.
- A WATER TRUCK SHALL BE ON-SITE DURING THE DEMOLITION PROCESS TO MINIMIZE FUGITIVE DUST.
- A CRUSHED STONE APRON SHALL BE CONSTRUCTED AS SHOWN TO MINIMIZE TRUCK TIRES LEAVING SEDIMENT ON THE ROADWAYS.
- ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- THE SITE AND THE CRUSHED STONE APRON SHALL BE GRADDED TO PREVENT ANY SITE RUNOFF FROM FLOWING OFF SITE.
- CONSTRUCTION HOURS SHALL BE FROM 6:00AM TO 6:00PM MONDAY THROUGH SATURDAY, 9:00AM TO 4:00PM ON SUNDAYS. HOWEVER, COMPANY EMPLOYEES, AS WELL AS THE EMPLOYEES OF ITS SUBCONTRACTORS SHALL AT ALL TIMES BE SUBJECT TO, AND COMPLY WITH TITLE 9 CHAPTERS 2001 THROUGH 2010, INCLUSIVE, OF THE QUINCY MUNICIPAL CODE, AS AMENDED FROM TIME TO TIME.

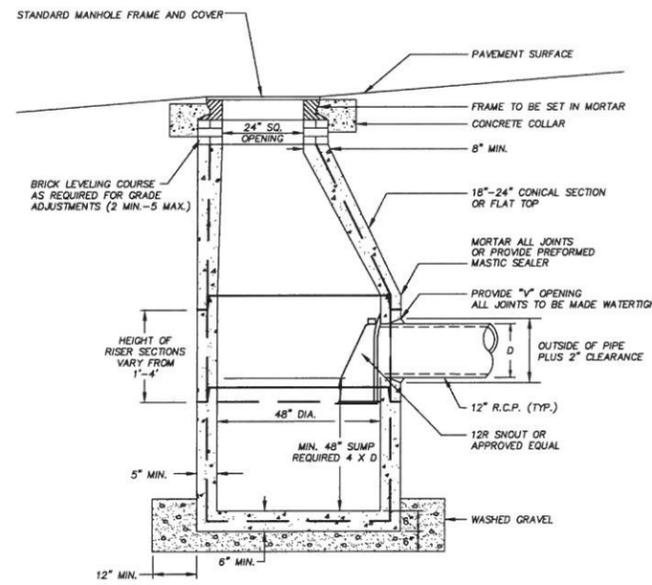
PROJECT TITLE & LOCATION:
PROPOSED OFFICE BUILDING
 111 WASHINGTON STREET
 QUINCY, MA 02169

PLAN TITLE:
 TRAFFIC FLOW STUDY PLAN

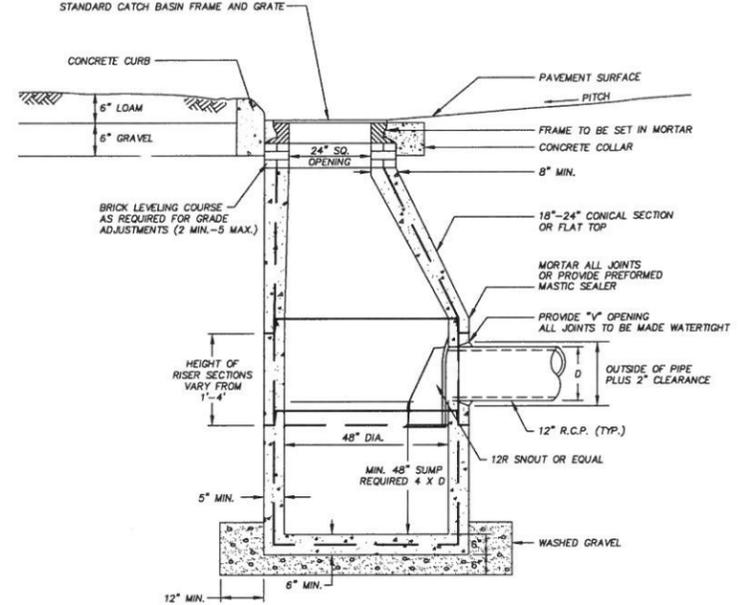
PREPARED FOR:
GALVCON DEVELOPMENT
 245 WILLARD STREET
 QUINCY, MA 02169

DATE: OCTOBER 23, 2015
 REVISED:
 REVISED:

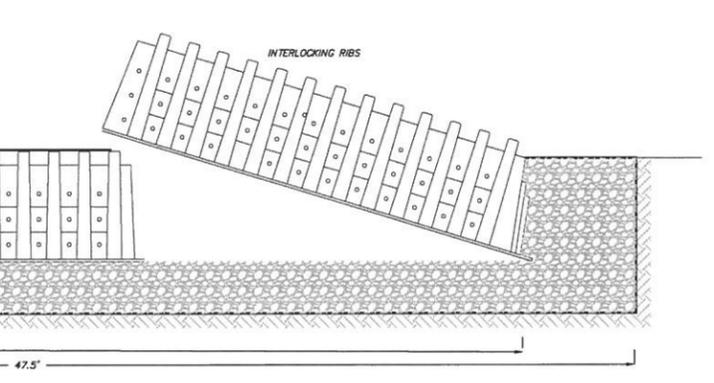
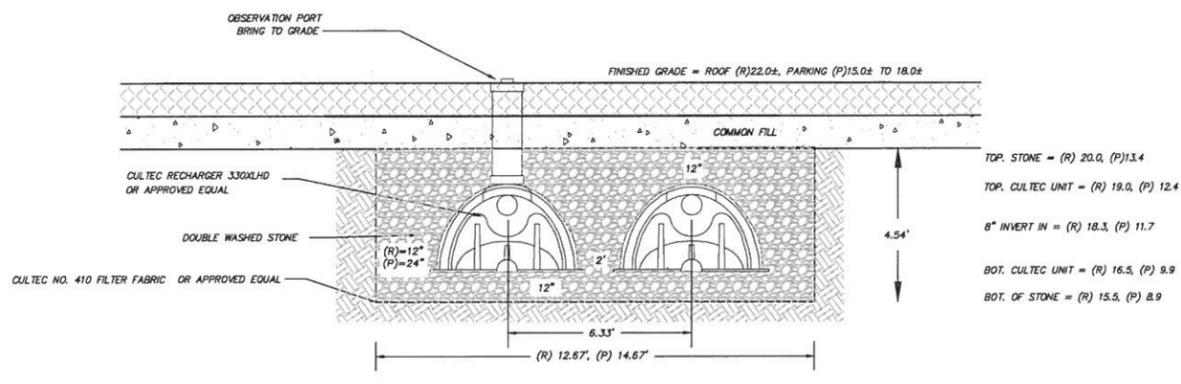
JOB NUMBER: 100-028 SHEET 8 OF 10
 SCALE: 1"=20'



DEEP SUMP DRAIN MANHOLE
NOT TO SCALE



PRECAST CONCRETE CATCH BASIN
NOTE: REFER TO DROP INLET THROAT DETAIL



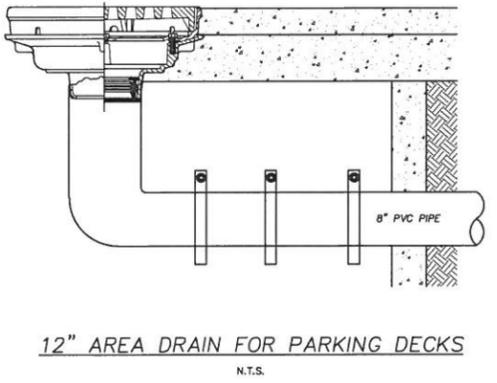
OVER-EXCAVATION NOTES:
THE CONTRACTOR SHALL REMOVE ALL TOPSOIL, SUBSOIL AND OTHER DELETERIOUS MATERIAL WITHIN 24" OF THE LIMIT OF THE STONE SURROUNDING THE CULTREC UNIT AS INDICATED ON THE PLANS.
THE REMOVED SOIL SHALL BE DISPOSED OF IN A LEGAL MANNER.
THE REMOVED SOIL SHALL BE REPLACED WITH CLEAN GRANULAR SAND CONFORMING TO THE FOLLOWING SIEVE ANALYSIS:

% PASSING	SIEVE SIZE	#
100	#4	
10-100	#20	
0-20	#100	
0-5	#200	

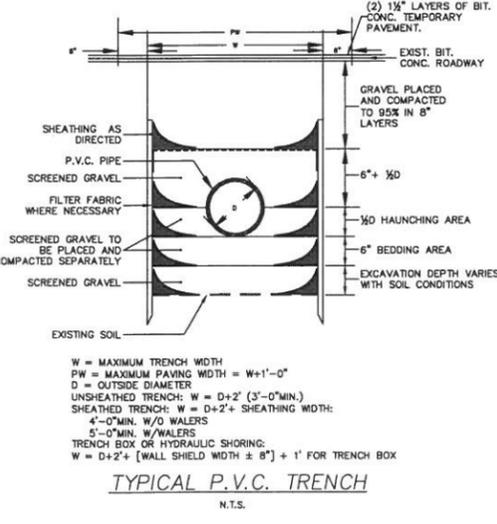
OBSERVATION PORT INSTALLATION NOTES:
CONTRACTOR TO CUT 6" HOLE AT TOP OF CHAMBER IN THE CENTER OF THE UNIT.
INSERT A 6" INTERNAL COUPLING INTO INSPECTION PORT OPENING.
USE A 6" SCH.40 PVC PIPE TO BRING INSPECTION PORT TO WITHIN 6" OF FINISHED GRADE.
INSTALL A 6" SCH.40 END CAP OR PLUG.
BACKFILL IN ACCORDANCE WITH SPECIFICATIONS.

CULTREC CHAMBER INSTALLATION NOTES:
CONTRACTOR TO INSTALL CULTREC CHAMBERS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
CULTREC NO. 410 FILTER FABRIC OR APPROVED EQUAL TO BE PLACED OVER THE TOP OF THE DRAINAGE SYSTEM PRIOR TO BACKFILL.
CONTRACTOR TO REMOVE ALL LOAM, SUBSOIL AND ALL DELETERIOUS MATERIAL FROM EXCAVATION PRIOR TO PLACEMENT OF THE STONE BED.

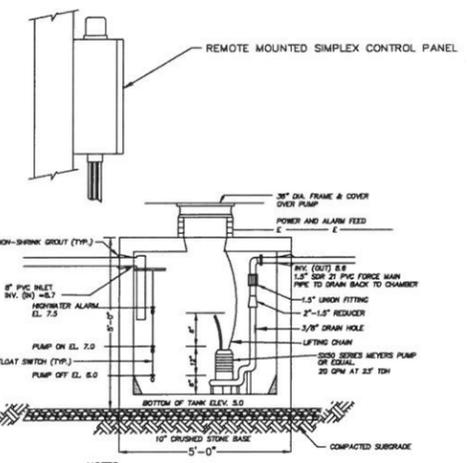
CULTREC CHAMBER TYPICAL PROFILE
NOT TO SCALE



12" AREA DRAIN FOR PARKING DECKS
N.T.S.



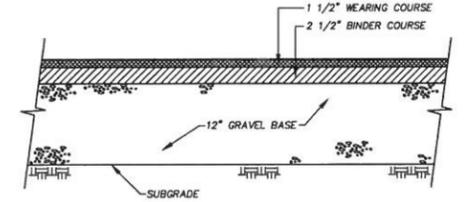
TYPICAL P.V.C. TRENCH
N.T.S.



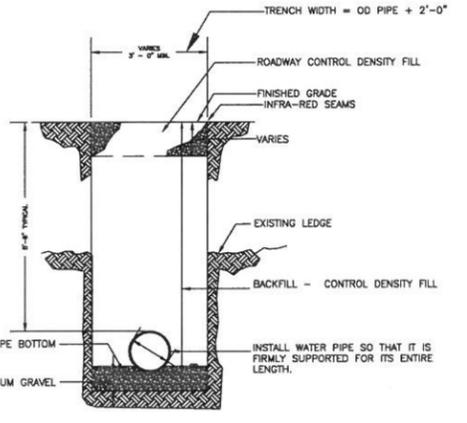
NOTES:

- ALL CONSTRUCTION TO BE WATERTIGHT.
- PUMP CHAMBER TO WITHSTAND H-20 LOADING.
- CONDUIT AND CABLES FOR PUMP AND ALARMS SHALL CONFORM TO MASSACHUSETTS ELECTRICAL CODE AND CONNECTIONS TO BE OUTSIDE OF TANK.
- PUMP SYSTEM TO INCLUDE VISIBLE AND AUDITORY ALARMS FOR HIGHWATER NOTIFICATION.
- WIRING PERMIT FOR PUMP SHALL BE GRANTED ONLY TO A LICENSED ELECTRICIAN.
- EXTERIOR ELECTRICAL POWER NECESSARY TO RUN THE OIL-WATER SEPARATOR PUMP AND THE LIGHTING TO CONFORM TO MASSACHUSETTS STATE ELECTRICAL CODE 527 CMR 12.00. POWER FEED LAYOUT AND SIZING TO BE DESIGNED BY ELECTRICAL ENGINEER. ELECTRICAL ENGINEER TO PROVIDE STAMPED DRAWINGS TO THE CITY OF QUINCY INSPECTORIAL SERVICES DEPARTMENT FOR REVIEW AND APPROVAL.
- ENCLOSED GARAGE DRAINAGE (I.E. PUMP CHAMBER, OIL WATER SEPARATOR, ETC.) TO CONFORM TO THE MASSACHUSETTS STATE PLUMBING CODE 248 CMR 10.00. PLUMBING ENGINEER TO PROVIDE STAMPED DRAWINGS TO THE CITY OF QUINCY INSPECTORIAL SERVICES DEPARTMENT FOR REVIEW AND APPROVAL.

4'X4' PUMP CHAMBER DETAIL
NOT TO SCALE

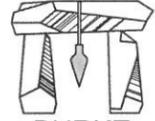


PAVEMENT SECTION
NOT TO SCALE



TYPICAL WATER TRENCH DETAIL
N.T.S.

DeCELLE



BURKE & Associates, Inc.

1266 Furnace Brook Parkway Quincy, MA 02169
(617) 405-5100 (O) (617) 405-5101 (F)



JAMES W. BURKE, PE DATE

GENERAL NOTES:

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RECORD OWNER: R RAVECH & SON REALTY LLC
DEED REFERENCE: BOOK 17943 PAGE 19
PLAN REFERENCE: PLAN 278 OF 1972
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QUINCY, MA 02169

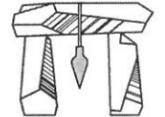
PLAN TITLE:
CONSTRUCTION DETAILS

PREPARED FOR:
GALVCON DEVELOPMENT
245 WILLARD ST
QUINCY, MA 02169

DATE: OCTOBER 23, 2015
REVISED:
REVISED:

JOB NUMBER: 100-026 **SHEET:** 9 OF 10

SCALE: N.T.S.



JAMES W. BURKE, PE DATE

GENERAL NOTES:
 1. LOCUS: ASSESSORS MAP 1137 BLOCK 8 LOT 8
 RECORD OWNER: R RAVECH & SON REALTY LLC
 DEED REFERENCE: BOOK 17943 PAGE 19
 PLAN REFERENCE: PLAN 278 OF 1972

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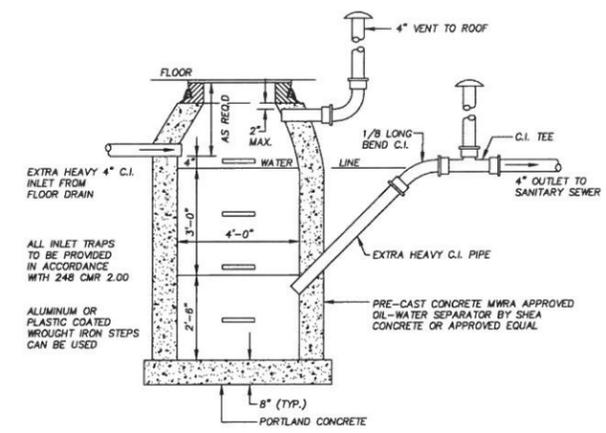
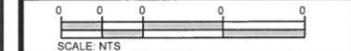
PROJECT TITLE & LOCATION:
PROPOSED OFFICE BUILDING
 111 WASHINGTON STREET
 QUINCY, MA 02169

PLAN TITLE:
CONSTRUCTION DETAILS

PREPARED FOR:
GALVCON DEVELOPMENT
 245 WILLARD ST
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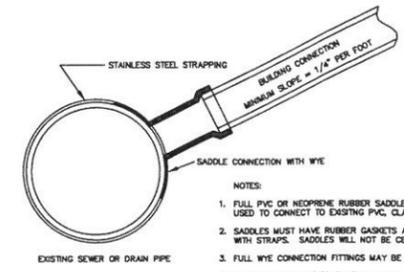
DATE: OCTOBER 23, 2015
 REVISED:
 REVISED:

JOB NUMBER: 100-026 SHEET 10 OF 10



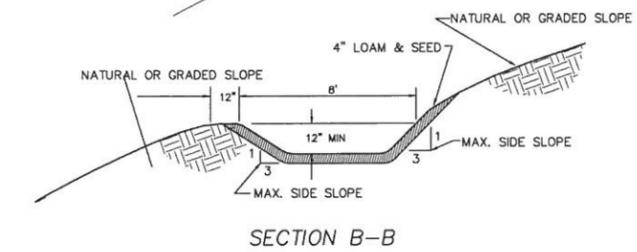
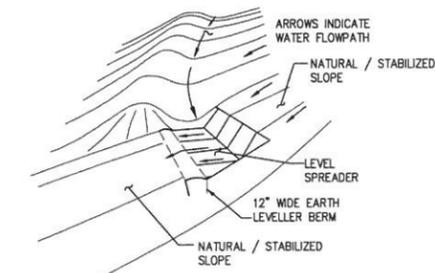
OIL AND GREASE SEPARATOR
 NOT TO SCALE

- GENERAL CONSTRUCTION NOTES:**
1. BASIN TO BE LOCATED OUTSIDE OF BUILDING WHERE POSSIBLE, COVER TO HAVE A CENTER HOLE.
 2. A TIGHT COVER MUST BE USED IF BASIN IS LOCATED INSIDE OF BUILDING.
 3. OPENING SHALL BE NOT LESS THAN 24" DIA.
 4. THE SEPARATOR SHALL BE SO LOCATED AND CONSTRUCTED THAT SURFACE WATER SHALL BE EXCLUDED.
 5. INLET PIPE SHALL BE AT LEAST FOUR INCHES ABOVE NORMAL WATER LINE.
 6. WHERE SUBJECT TO FROST OR CRUSHING CONDITIONS, OUTLET SHALL BE AT LEAST THREE FEET BELOW THE SURFACE.
 7. THE NEW SEPARATOR MUST BE FILLED WITH CLEAN WATER BEFORE USING, AND AFTER BEING EMPTIED FOR PERIODIC CLEANING.
 8. ALL OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING OUT THE SEPARATOR, AND MUST NOT BE INTO THE SEWER THROUGH OTHER FIXTURES.
 9. SPECIFICATIONS FOR COVERING SPECIAL CASES OR CONDITIONS, SHALL BE APPROVED BY THE LOCAL AUTHORITIES OF THE M.W.R.A.
 10. WROUGHT IRON STEPS SHALL BE SPACED ABOUT 18" APART.
 11. BOTH VENTS SHALL BE EXTENDED INDEPENDENTLY 18" ABOVE THE ROOF, OR AS APPROVED BY THE LOCAL AUTHORITIES, AND THE AUTHORITIES OF THE M.W.R.A.
 12. THE CONTRACTOR SHALL CONTACT THE M.W.R.A BEFORE INSTALLATION OF THE SEPARATOR AND SCHEDULE A SITE VISIT WITH THE M.W.R.A TO WITNESS INSTALLATION.



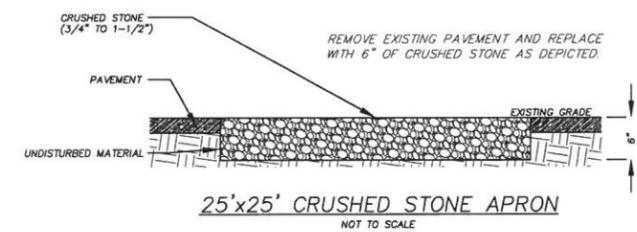
DRAIN AND SEWER SADDLE CONNECTION
 N.T.S.

- NOTES:
1. FULL PVC OR NEOPRENE RUBBER SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY OR IRON PIPE.
 2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO PIPE.
 3. FULL WYE CONNECTION FITTINGS MAY BE USED.
 4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
 5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.

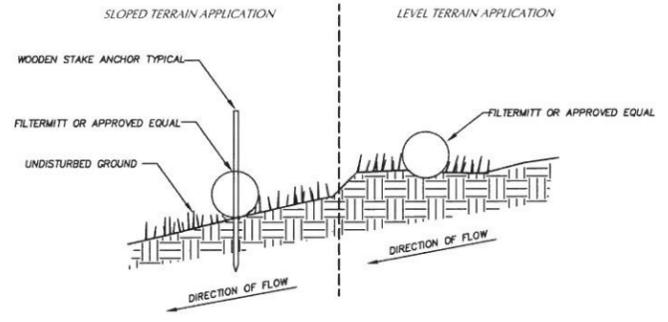


SECTION B-B
 CONSTRUCTION SPECIFICATIONS

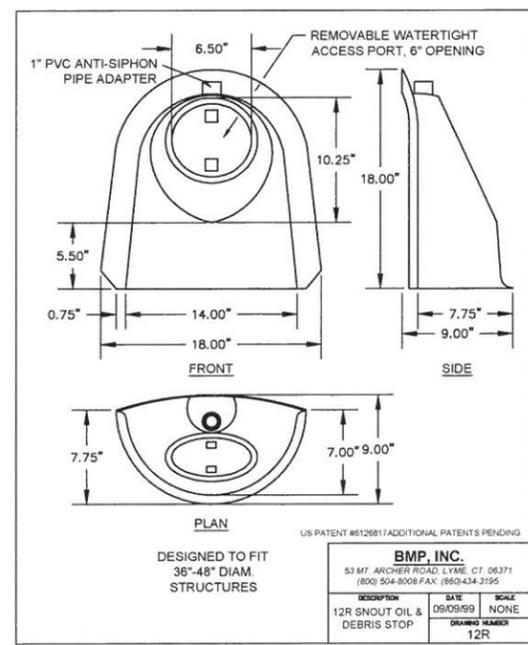
1. Construct the level spreader berm on a zero percent grade to ensure uniform spreading of runoff.
2. Level spreader shall be constructed on undisturbed
3. The entire level berm area shall be protected by planting a low growth juniper hedge. The hedge shall provide slope stabilization and flow
4. The flow from the level spreader shall outlet onto stabilized areas. Water should not reconcentrate immediately below the spreader.
5. Periodic inspection and maintenance shall be performed if required.



25'x25' CRUSHED STONE APRON
 NOT TO SCALE

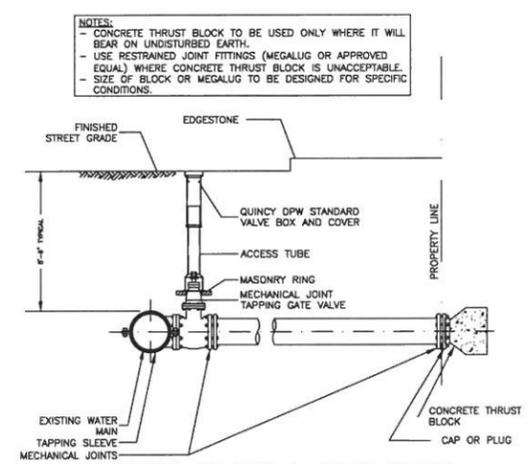


FILTERMITT OR EQUIVALENT
 NOT TO SCALE



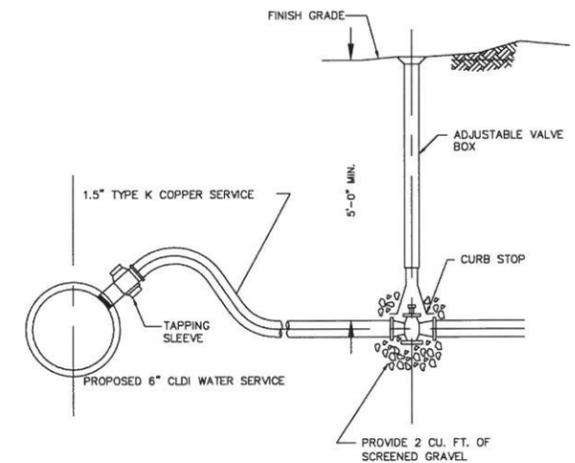
DEEP SUMP MANHOLE OUTLET BAFFLE
 N.T.S.

US PATENT #6129817 ADDITIONAL PATENTS PENDING
BMP, INC.
 53 MT ARCHER ROAD, LYME, CT 06371
 (800) 504-9008 FAX: (860) 434-3195
 DESCRIPTION: 12R SNOUT OIL & DEBRIS STOP
 DATE: 09/09/09
 SCALE: NONE
 DRAWING NUMBER: 12R



TAPPING SLEEVE & GATE VALVE
 FOR 6" CLDI DOMESTIC WATER (FIRE) SERVICE
 N.T.S.

- NOTES:
- CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
 - USE RESTRAINED JOINT FITTINGS (MEGALUG OR APPROVED EQUAL) WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
 - SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.



TAPPING SLEEVE & GATE VALVE
 FOR 1.5" COPPER DOMESTIC WATER SERVICE
 N.T.S.